

HIGHWAY WORK PROPOSAL – RAZING AND REMOVING

Proposal Number: Ø 1

Wisconsin Department of Transportation
DT1502 10/2010 s .66.29(7) Wis. Stats.

COUNTY	STATE PROJECT ID	PROJECT DESCRIPTION	HIGHWAY
Portage	6414-00-25	Bus 51, V. of Plover & Whiting STH 54 – Minnesota Avenue	Bus 51

This proposal, submitted by the undersigned bidder to the Wisconsin Department of Transportation, is in accordance with the advertised request for proposals. The bidder is to furnish and deliver all materials, and to perform all work for the improvement of the designated project in the time specified, in accordance with the appended proposal requirements and conditions.

Proposal guaranty required, \$20,000.00
Payable to: Wisconsin Department of Transportation

Attach Proposal Guaranty.

Bid submittal due
Date: May 9, 2018
Time (local time): 9:00 AM

Firm name, address, city, state, zip

Contract completion time
45 Calendar Days

Assigned disadvantaged business enterprise goal
0 %

This contract is exempt from federal oversight.

This certifies that the undersigned bidder, duly sworn, is an authorized representative of the firm named above; that the bidder has examined and carefully prepared the bid from the plans, Highway Work Proposal, and all addenda, and has checked the same in detail before submitting this proposal or bid; and that the bidder or agents, officer, or employees have not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with this proposal bid.

Do not sign, notarize or submit this highway work proposal when submitting an electronic bid on the internet.

Subscribed and sworn to before me this date _____

(Signature, Notary Public, State of Wisconsin)

(Bidder Signature)

(Print or Type Name, Notary Public, State Wisconsin)

(Print or Type Bidder Name)

(Date Commission Expires)

(Bidder Title)

Notary Seal

For Department Use Only

Type of Work Razing and Removing	
Notice of award dated	Date guaranty returned

**PLEASE ATTACH
PROPOSAL GUARANTY HERE**

NOT FOR BIDDING PURPOSES

Effective with November 2007 Letting

PROPOSAL REQUIREMENTS AND CONDITIONS

The bidder, signing and submitting this proposal, agrees and declares as a condition thereof, to be bound by the following conditions and requirements.

If the bidder has a corporate relationship with the proposal design engineering company, the bidder declares that it did not obtain any facts, data, or other information related to this proposal from the design engineering company that was not available to all bidders.

The bidder declares that they have carefully examined the site of, and the proposal, plans, specifications and contract forms for the work contemplated, and it is assumed that the bidder has investigated and is satisfied as to the conditions to be encountered, as to the character, quality, and quantities of work to be performed and materials to be furnished, and as to the requirements of the specifications, special provisions and contract. It is mutually agreed that submission of a proposal shall be considered conclusive evidence that the bidder has made such examination.

The bidder submits herewith a proposal guaranty in proper form and amount payable to the party as designated in the advertisement inviting proposals, to be retained by and become the property of the owner of the work in the event the undersigned shall fail to execute the contract and contract bond and return the same to the office of the engineer within fourteen (14) days after having been notified in writing to do so; otherwise to be returned.

The bidder declares that they understand that the estimate of quantities in the attached schedule is approximate only and that the attached quantities may be greater or less in accordance with the specifications.

The bidder agrees to perform the said work, for and in consideration of the payment of the amount becoming due on account of work performed, according to the unit prices bid in the following schedule, and to accept such amounts in full payment of said work.

The bidder declares that all of the said work will be performed at their own proper cost and expense, that they will furnish all necessary materials, labor, tools, machinery, apparatus, and other means of construction in the manner provided in the applicable specifications and the approved plans for the work together with all standard and special designs that may be designed on such plans, and the special provisions in the contract of which this proposal will become a part, if and when accepted. The bidder further agrees that the applicable specifications and all plans and working drawings are made a part hereof, as fully and completely as if attached hereto.

The bidder, if awarded the contract, agrees to begin the work not later than ten (10) days after the date of written notification from the engineer to do so, unless otherwise stipulated in the special provisions.

The bidder declares that if they are awarded the contract, they will execute the contract agreement and begin and complete the work within the time named herein, and they will file a good and sufficient surety bond for the amount of the contract for performance and also for the full amount of the contract for payment.

The bidder, if awarded the contract, shall pay all claims as required by Section 779.14, Statutes of Wisconsin, and shall be subject to and discharge all liabilities for injuries pursuant to Chapter 102 of the Statutes of Wisconsin, and all acts amendatory thereto. They shall further be responsible for any damages to property or injury to persons occurring through their own negligence or that of their employees or agents, incident to the performance of work under this contract, pursuant to the Standard Specifications for Road and Bridge Construction applicable to this contract.

In connection with the performance of work under this contract, the contractor agrees to comply with all applicable state and federal statutes relating to non-discrimination in employment. No otherwise qualified person shall be excluded from employment or otherwise be subject to discrimination in employment in any manner on the basis of age, race, religion, color, gender, national origin or ancestry, disability, arrest or conviction record (in keeping with s.111.32), sexual orientation, marital status, membership in the military reserve, honesty testing, genetic testing, and outside use of lawful products. This provision shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation, and selection for training, including apprenticeship. The contractor further agrees to ensure equal opportunity in employment to all applicants and employees and to take affirmative action to attain a representative workforce.

The contractor agrees to post notices and posters setting forth the provisions of the nondiscrimination clause, in a conspicuous and easily accessible place, available for employees and applicants for employment.

If a state public official (section 19.42, Stats.) or an organization in which a state public official holds at least a 10% interest is a party to this agreement, this contract is voidable by the state unless appropriate disclosure is made to the State of Wisconsin Ethics Board.

PROPOSAL BID BOND

DT1303 1/2006

Wisconsin Department of Transportation

Proposal Number	Project Number	Letting Date
Name of Principal		
Name of Surety	State in Which Surety is Organized	

We, the above-named Principal and the above-named Surety, are held and firmly bound unto the State of Wisconsin in the sum equal to the Proposal Guaranty for the total bid submitted for the payment to be made; we jointly and severally bind ourselves, our heirs, executors, administrators, successors and assigns. The condition of this obligation is that the Principal has submitted a bid proposal to the State of Wisconsin acting through the Department of Transportation for the improvement designated by the Proposal Number and Letting Date indicated above.

If the Principal is awarded the contract and, within the time and manner required by law after the prescribed forms are presented for signature, enters into a written contract in accordance with the bid, and files the bond with the Department of Transportation to guarantee faithful performance and payment for labor and materials, as required by law, or if the Department of Transportation shall reject all bids for the work described, then this obligation shall be null and void; otherwise, it shall be and remain in full force and effect. In the event of failure of the Principal to enter into the contract or give the specified bond, the Principal shall pay to the Department of Transportation **within 10 business days of demand** a total equal to the Proposal Guaranty as liquidated damages; the liability of the Surety continues for the full amount of the obligation as stated until the obligation is paid in full.

The Surety, for value received, agrees that the obligations of it and its bond shall not be impaired or affected by any extension of time within which the Department of Transportation may accept the bid; and the Surety does waive notice of any such extension.

IN WITNESS, the Principal and Surety have agreed and have signed by their proper officers and have caused their corporate seals to be affixed this date: **(DATE MUST BE ENTERED)**

PRINCIPAL

(Company Name) **(Affix Corporate Seal)**

(Signature and Title)

(Company Name)

(Signature and Title)

(Company Name)

(Signature and Title)

(Company Name)

(Signature and Title)

(Name of Surety) **(Affix Seal)**

(Signature of Attorney-in-Fact)

NOTARY FOR PRINCIPAL

(Date)

State of Wisconsin)
) ss.
 _____ County)

On the above date, this instrument was acknowledged before me by the named person(s).

(Signature, Notary Public, State of Wisconsin)

(Print or Type Name, Notary Public, State of Wisconsin)

(Date Commission Expires)

Notary Seal

NOTARY FOR SURETY

(Date)

State of Wisconsin)
) ss.
 _____ County)

On the above date, this instrument was acknowledged before me by the named person(s).

(Signature, Notary Public, State of Wisconsin)

(Print or Type Name, Notary Public, State of Wisconsin)

(Date Commission Expires)

Notary Seal

IMPORTANT: A certified copy of Power of Attorney of the signatory agent must be attached to the bid bond.

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CERTIFICATE OF ANNUAL BID BOND

DT1305 8/2003

Wisconsin Department of Transportation

Time Period Valid (From/To)	
Name of Surety	
Name of Contractor	
Certificate Holder	Wisconsin Department of Transportation

This is to certify that an annual bid bond issued by the above-named Surety is currently on file with the Wisconsin Department of Transportation.

This certificate is issued as a matter of information and conveys no rights upon the certificate holder and does not amend, extend or alter the coverage of the annual bid bond.

Cancellation: Should the above policy be cancelled before the expiration date, the issuing surety will give thirty (30) days written notice to the certificate holder indicated above.

(Signature of Authorized Contractor Representative)

(Date)

NOT FOR BIDDING PURPOSES

NOT FOR BIDDING PURPOSES

DECEMBER 2000

**CERTIFICATION REGARDING DEBARMENT, SUSPENSION, AND OTHER
RESPONSIBILITY MATTERS - PRIMARY COVERED TRANSACTIONS**

Instructions for Certification

1. By signing and submitting this proposal, the prospective contractor is providing the certification set out below.
2. The inability of a person to provide the certification required below will not necessarily result in denial of participation in this covered transaction. The prospective contractor shall submit an explanation of why it cannot provide the certification set out below. The certification or explanation will be considered in connection with the department or agency's determination whether to enter into this transaction. However, failure of the prospective contractor to furnish a certification or an explanation shall disqualify such person from participation in this transaction.
3. The certification in this clause is a material representation of fact upon which reliance was placed when the department determined to enter into this transaction. If it is later determined that the contractor knowingly rendered an erroneous certification in addition to other remedies available to the Federal Government the department may terminate this transaction for cause or default.
4. The prospective contractor shall provide immediate written notice to the department to whom this proposal is submitted if at any time the prospective contractor learns that its certification was erroneous when submitted or has become erroneous by reason of changed circumstances.
5. The terms "covered transaction," "debarred," "suspended," "ineligible," "lower tier covered transaction," "participant," "person," "primary covered transaction," "principal," "proposal," and "voluntarily excluded," as used in this clause, have the meanings set out in the Definitions and Coverage sections of the rules implementing Executive Order 12549. You may contact the department to which this proposal is being submitted for assistance in obtaining a copy of those regulations.
6. The prospective contractor agrees by submitting this proposal that, should this contract be entered into, it shall not knowingly enter into any lower tier covered transaction with a person who is debarred, suspended, declared ineligible, or voluntarily excluded from participation in this covered transaction, unless authorized by the department entering into this transaction.
7. The prospective contractor further agrees by submitting this proposal that it will include the clause titled "Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion-Lower Tier Covered Transaction," which is included as an addendum to PR-1273 - "Required Contract Provisions Federal Aid Construction Contracts," without

modification, in all lower tier covered transactions and in all solicitations for lower tier covered transactions.

8. The contractor may rely upon a certification of a prospective subcontractor/materials supplier that it is not debarred, suspended, ineligible, or voluntarily excluded from the covered transaction, unless it knows that the certification is erroneous. A contractor may decide the method and frequency by which it determines the eligibility of its principals. Each contractor may, but is not required to, check the Disapproval List (telephone # 608/266/1631).
9. Nothing contained in the foregoing shall be construed to require establishment of a system of records in order to render in good faith the certification required by this clause. The knowledge and information of a contractor is not required to exceed that which is normally possessed by a prudent person in the ordinary course of business dealings.
10. Except for transactions authorized under paragraph 6 of these instructions, if a contractor in a covered transaction knowingly enters into a lower tier covered transaction with a person who is suspended, debarred, ineligible or voluntarily excluded from participation in this transaction, in addition to other remedies available to the Federal Government, the department may terminate this transaction for cause or default.

Certification Regarding Debarment, Suspension, and Other Responsibility Matters - Primary Covered Transactions

- (1) The prospective contractor certifies to the best of its knowledge and belief, that it and its principals:
 - (a) Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal department or agency;
 - (b) Have not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
 - (c) Are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State or local) with commission of any of the offense enumerated in paragraph (1)(b) of this certification; and
 - (d) Have not within a three-year period preceding this proposal had one or more public transactions (Federal, State or local) terminated for cause or default.
- (2) Where the prospective contractor is unable to certify to any of the statements in this certification, such prospective contractor shall attach an explanation to this proposal.

Special Provisions

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SPECIAL PROVISIONS

1. General.

The work under this contract for the construction of the following projects in Wisconsin:

Project ID 6414-00-25; Bus 51, V. of Plover & Whiting; STH 54 – Minnesota Avenue;
Bus 51; Portage County;

Perform the work under this construction contract as the plans show and execute the work as specified in the State of Wisconsin, Department of Transportation, Standard Specifications for Highway and Structure Construction 2017 Edition and these special provisions including the Additional Special Provisions (ASP's).

This Razing and Removing Proposal has been developed under the U.S. standard measure system.

The Standard Specifications for Highway and Structure Construction 2018 Edition is available for browsing, download, or to place an order for a hard copy at:

<http://wisconsin.gov/Pages/doing-bus/eng-consultants/cnslt-rsrces/rdwy/stnds-spec.aspx>

Those who do not have access to the web may order a hard copy of the specifications through:

WI Department of Administration - Document Sales and Distribution Section
202 S. Thornton Avenue, PO Box 7840, Madison WI 53707-7840
Phone: (608) 266-3358

2. Scope of Work.

Work under this contract includes razing and removing buildings, disposing of all material and debris, removing all miscellaneous land improvements, if any, placing compacted backfill in the exposed basements and openings resulting from the removal of the buildings, and grading the vacant site. (See Parcel Exhibits included in this proposal.) Do not disturb adjacent property.

Keep the abutting highway free of debris and mud throughout performance of the work under this contract.

Abandon the present sanitary sewer or septic system and water systems in accordance to current statutes, ordinances, and regulations.

Plank with suitable timbers the public streets and highways, which serve as access for heavy equipment, to preclude any damages to said facilities. Repair all damages to these public facilities or replace them with like materials at contractor expense.

Maintain all roads, highways, or public places adjacent to any building or buildings being razed or removed, in a debris or litter-free condition throughout the life of this contract.

However, should the use of the above highways be required for razing or backfilling operations, erect splashboards or reflector panels and place warning signs at appropriate locations to protect the general public.

Raze and remove the buildings and backfill the resulting exposed openings at the following locations:

<u>Project</u>	<u>Parcel</u>	<u>Type of Building</u>	<u>Address</u>
6414-00-25	132	One story, 1,296 SF building over partial unfinished 912 SF basement. The building has vinyl siding and composition, asphalt shingles with a concrete foundation. The building interior is finished with painted drywall. 216 SF one story garage. It's a wood frame structure over perimeter foundation circa 1965. The building has vinyl siding and asphalt shingle roof. There are no known chemicals found on the property. Driveway and concrete pads located in the area acquired are to be removed. There are no known fuel storage tanks on the property. The building is connected to the Village of Plover municipal water and sewer system. Water and sewer lines shall be sealed or	1120 Post Road Plover, WI 54467

abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises.

<u>Project</u>	<u>Parcel</u>	<u>Type of Building</u>	<u>Address</u>
6414-00-25	138	Double sided pylon "Hagens" business sign with electrical. Disconnect electrical and completely remove and dispose of business sign and foundation.	3005 & 3007 Post Road Stevens Point (Whiting), WI 54481
6414-00-25	144	Concrete Business sign with two lights and electrical. Disconnect electrical and completely remove and dispose of business sign, lights and foundation.	3118 Post Rd., Stevens Point, (Whiting), WI 54481
6414-00-25	147	Wooden pylon advertising sign with lighting and electrical. Disconnect electrical and completely remove and dispose of business sign, lighting and foundation.	3012 Post Rd., Stevens Point, (Whiting) WI 54481
6414-00-25	151	Two story 796 SF building with full unfinished basement. The subject includes the following: Wood frame structure with painted wood siding. The subject has a full basement with stone walls. The subject's has a gabled roof with a dormer and asphalt shingles. The floors are a combinations of a carpet, hardwood and linoleum tile and the walls are primarily painted drywall with stone masonry in the basement. The subject is heated with gas forced air and has a central air conditioning unit. The windows are primarily slider/crank windows. The subject has two half baths. Parking is provided by a concrete parking lot. Two car, 740 SF double deep garage. Two overhead doors on the west side and one full-length overhead door on the east side. The building is of wood frame construction with a concrete floor, wood siding and a shingled roof. 648 SF wooden shed/auxiliary building with metal roof, vinyl shingle siding on a concrete floor.	2906 Post Road Stevens Point (Whiting), WI 54481

State Highway Project ID 6414-00-25, Parcels 132, 138, 144, 147, 151, 152, 164, 165, 166, 168, 171, 181, 182, 185, 192 and tree removal

There are no known chemicals found on the property.

Driveway and concrete pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding

layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises.

6414-00-25	152	One Story 532 SF two stall garage. The subject includes the following: Wood frame construction with asphalt siding and asphalt shingle roofing. The garage floor is concrete.	2900 Post Road Stevens Point (Whiting), WI 54481
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There are no known chemicals found on the property.

Driveway and concrete pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in

thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises.

6414-00-25	164	<p>One Story 2,246 SF commercial building. The subject includes the following: Wood frame construction with brick veneer and stucco siding. The subject has a full basement with concrete block walls. The roof is flat with one pitched area. The interior floors are covered with a mix of carpeting, hardwood and ceramic tile. The walls consist of painted drywall and painted concrete block in the basement. The building has three gas furnaces and three central air conditioning unit. Wood frame construction brick frame veneer exterior.</p> <p>There are no known chemicals found on the property.</p> <p>Asphalt driveway and concrete pads located in the area acquired are to be removed.</p> <p>There are no known fuel storage tanks on the property.</p> <p>The building is connected to the Village of</p>	<p>2804 Post Road Stevens Point (Whiting), WI 54481</p>
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Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises. Brick Planters shall also be removed.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within

the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25 165 1 ½ Story 1,954 SF converted single family home (formerly Book Look). The subject includes the following: Wood frame construction with aluminum siding, soffit and fascia. The subject has a 1,012 SF basement with poured concrete foundation walls. The subject's floor structure is wood joists on the first and second floors and concrete for the basement. The roof is pitched with composition shingles and aluminum gutters. The interior floors are finished with carpet and wood and the walls and ceilings are painted drywall. The building has a gas-fired forced air furnace and a central air conditioner. The windows are double-hung & slider windows with aluminum storm and screens. The subject has ½ bathroom. Parking is provided by an asphalt driveway.

2724 Post Road
Stevens Point
(Whiting), WI
54481

There are no known chemicals found on the property.

Asphalt driveway and concrete pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25	166	1 ½ 1,224 SF single family cape cod style house constructed in 1943. The subject includes the following: Wood frame construction with vinyl siding and aluminum soffit and fascia. The subject has a full basement with stone	2704 Post Road Stevens Point (Whiting), WI 54481
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foundation walls. The subject's floor Structure is wood joists on the first and second floors and concrete for the basement. The roof is pitched with composition shingles over felt and wood sheathing. The interior floors are finished with carpet, vinyl and hardwood and the walls and ceilings are painted plaster. The subject has a gas-fired forced air furnace and central air conditioning. The windows are double-hung with aluminum combination storm windows. And the doors are wood. Parking is provided by a concrete driveway and garage surface.

Detached wooded one-car 400 SF garage with a shingled roof on a concrete pad.

Wooden 170 SF utility shed with shingled roof.

There are no known chemicals found on the property.

Concrete driveway and concrete pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps,

landings and sidewalks as well as asphalt if any are to be removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25	168	Single story 3,482 SF commercial building with an 850 SF residential apartment. The subject includes the following: Wood frame construction, vinyl siding with areas of stone veneer. The subject is on a concrete slab foundation. The roof is flat with a rubber membrane covering. The interior floors are covered with ceramic tile and carpeting and the walls and ceiling finishes are painted drywall. The building is heated with two gas fired furnaces and cooled with a central air conditioner. Parking is provided by an asphalt parking lot. There is also a double sided pylon	2604 Post Road Stevens Point (Whiting), WI 54481
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advertising sign to be removed as part of this contract.

There are no known chemicals found on the property.

Asphalt driveway, concrete pads and pylon advertising sign located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises. Any signs and or sign foundations shall be completely removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self-propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence

under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and threes which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25	171	Asphalt driveway and parking lot, concrete slab, business sign, sign base and two concrete balusters. There are no known chemicals found on the property.	2522 Post Road Stevens Point (Whiting), WI 54481
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There are no known fuel storage tanks on the property.

Remove all those shrubs, bushes, brush or hedges, and threes which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25	181	Pylon business advertising sign with lighting and electrical. Disconnect electrical and completely remove and dispose of business sign, lighting and foundation.	2326 Post Rd. Stevens Point (Whiting) WI 54481
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6414-00-25 182 Two one story two stall garages each about 540 SF in size. The garages are of wood frame construction with wood and a partial stone veneer. The roof is pitched with composition shingles supported by wood rafters. Both garages are on a concrete foundation and have a concrete floor. 2316 Post Road
Stevens Point
(Whiting), WI
54481

Concrete driveway and pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or

hedges, and threes which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25 185 Two Story, 1,681 SF dental office building. The subject includes the following: Wood frame construction with aluminum siding, soffit and fascia. The subject has a full basement with poured concrete foundation walls. The subject's floor structure is wood joists on the first and second floors and concrete for the basement. The roof is pitched with composition shingles over felt and wood sheathing supported by wood rafters. The interior floors are finished with carpet and wood and the walls and ceilings are painted drywall. The building has a gas-fired forced air furnace and the second floor has electric radiant heating. The subject is served with central air conditioning. The windows are double-hung with aluminum combination storm windows and the doors are wood and metal. The subject has 1.5 bathrooms. Parking is provided by an asphalt parking lot. There are no known chemicals found on the property.

100 McDill Ave.
Stevens Point,
(Whiting) WI
54481

Concrete driveway and pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local

inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps, landings and sidewalks as well as asphalt if any are to be removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25	192	Three bedroom, two bath 1,638 SF single family 1 ½ story cape cod style home with attached 2 car garage on a cement slab. The subject includes the following: Wood frame construction with aluminum siding, soffit and	116 McDill Ave. Stevens Point, (Whiting) WI 54481
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facia. Wood roof rafters with composition roof shingles and aluminum gutters. Double-hung windows with aluminum storm and screen windows. The Foundation has a full basement with stone foundation walls. The floor construction of the first and second floors are wood joist and the basement is concrete. The exterior wall structure is frame siding. The roof is pitched with composition shingles over felt and wood sheathing supported by wood rafters. The interior floors are covered with carpet and vinyl, the walls and ceilings are painted drywall. The baseboard has a gas-fired forced air furnace and the second floor has baseboard heating. The subject has no air conditioning. The subject is served by municipal water and sewer. Parking is provided by a concrete driveway.

There are no known chemicals found on the property.

Concrete driveway and pads located in the area acquired are to be removed.

There are no known fuel storage tanks on the property.

The building is connected to the Village of Whiting municipal water and sewer system.

Water and sewer lines shall be sealed or abandoned in a manner in compliance with ordinances and permit requirements of the municipality in which the building is situated in the presence of a representative of the Department of Transportation and/or a local inspector.

See attached Asbestos Inspection Report from North Star Environmental Testing, LLC.

Foundations, including any walls, footings and masonry floors, shall be completely removed from the premises. Concrete slabs, steps,

landings and sidewalks as well as asphalt if any are to be removed from the premises.

The exposed openings shall be backfilled with granular backfill and compacted using a self propelled vibrating roller. The material for the backfill shall be deposited, spread and leveled in layers generally not exceeding 8 inches in thickness before compaction, unless specified differently in each parcel's exhibit. Each layer of backfill shall be compacted to the degree that no further appreciable consolidation is evidence under the action of the compaction equipment. The required compaction shall be attained for each layer before any material for a succeeding layer is placed thereon. The above is in accordance with Subsection 207.3.6.2 of the Standard Specifications. Upon completion of the backfilling operations of the exposed basement and other openings, the area shall be fine graded and shaped to match the surrounding area.

Remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on this parcel. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property.

6414-00-25 N/A Tree Removal. Remove and dispose of all trees within the 36 stations as indicated in the Clearing Items spreadsheet below and further identified on the plans in the Tree Removal exhibit to this contract. The selected contractor is not required to remove the stumps.

Tree Removal

STATION - STATION	LOCATION	Tree Removal STA
BUS 51		
216+75 - 217+75	RT	1
219+00 - 220+00	RT	1
220+50 - 222+50	RT	2
223+50 - 224+50	RT	1
225+50 - 226+50	RT	1
227+20 - 232+20	RT	5
229+50 - 231+50	LT	2
234+00 - 238+00	RT	4
239+50 - 242+50	RT	3
243+00 - 245+00	RT	2
248+00 - 250+00	RT	2
250+00 - 251+00	LT	1
255+50 - 257+50	RT	2
261+00 - 262+00	RT	1
PORTER ROAD		
800+50 - 802+50	LT	2
801+00 - 802+00	RT	1
E CEDAR STREET		
85+00 - 86+00	RT	1
88+00 - 90+00	RT	2
BEECH STREET		
20+50 - 21+50	RT	1
WILLOW STREET (E)		
91+00 - 92+00	RT	1
ITEM TOTAL		36

Perform the following:

1. For parcels 132, 151, 152, 164, 165, 166, 168, 171, 182, 185 & 192, remove all structures and septic tank from the premises and remove all those shrubs, bushes, brush or hedges, and trees which are located within the acquisition area on these parcels. Stumps must also be grubbed and the wood removed from the premises. Also remove and dispose of all remaining appliances and personal property. For parcels 138, 144, 147, 181 remove the business advertising sign, including foundation and electrical as indicated above. Remove and dispose of all trees within the 36 stations as indicated in the Clearing Items spreadsheet above and further identified on the plans in the Tree Removal exhibit to this contract.
2. Remove and dispose of all asbestos and hazardous materials in compliance to current local, state, and federal guidelines and laws, including asbestos not discovered in the pre-razing inspections included in these specifications. The most recent edition of any applicable standard, code, or regulation shall be in effect. Where conflict among the requirements of these specifications occurs, follow the most stringent. Only a qualified and certified asbestos removal contractor shall perform the removal of asbestos. If not licensed to remove asbestos, employ a certified subcontractor to perform this work. An inspection report for each building indicating the presence or absence of asbestos in exposed positions of the structure is included in this proposal, unless otherwise indicated.
3. The successful bidder shall arrange for the public and/or private utility companies to disconnect their services and remove meters. Make arrangements with the local plumbing inspectors to inspect the abandonment of well and septic systems and/or sewer and water laterals. In accordance to state laws and administrative rules, licensed well driller and pump installer contractors shall accomplish all water well abandonment.
4. Conduct all demolition, removal, and backfilling operations in such a manner that all conflicts with vehicular traffic on adjacent streets and highways are avoided. Use barricades or fencing, or both, when needed to guarantee the safety of pedestrians or motorists.
5. Upon completion of the backfilling operations of the exposed basements and other openings, fine-grade and shape the area. Also, topsoil (conforming to standard spec 625.2), fertilize (conforming to standard spec 629.2.1.3), seed using #10 mixture (conforming to standard spec 630.2.1.5.1.1.1), and mulch (conforming to standard spec 627.3.1) right of way affected.

3. Prosecution and Progress.

Begin work within ten calendar days after the engineer issues a written notice to do so.

Give definite notice of intention to start work to the Wisconsin Department of Transportation, North Central Region, Attn: Right of Way Professionals, Inc., Dave Selissen, 1030 Oak Ridge Drive, Suite E, Eau Claire, WI 54701, Phone 715-830-0544 ext. 203, at least 72 hours in advance of beginning work.

In the event that some structures are not vacant and available when the order to start is issued, begin work on the parcels that are vacant and available, and continue with operations until the available structures have been razed or removed, the resulting exposed basements removed in their entirety and removed from the site, and all openings backfilled. Notify the department's representative when the vacated and available structures have been removed and the exposed openings backfilled. Suspend operations until the remaining structures become vacant and available; contract time will not be charged during such period of suspension. Resume work within ten days after the date the department representative has issued a written order to do so. In the event that a structure or structures are not available to the contractor within a period of 270 days subsequent to the execution of the contract by the State, due to their occupancy or other circumstances, the contractor may have the option to request release of said unavailable structure or structures from the contract.

On those contracts executed under Option B, the contractor may, after the expiration of the period defined above, request the deletion of a parcel or parcels from the group in the contract. The deletion of a parcel or parcels shall be accomplished by contract change order negotiated at the price listed for such parcel in the contract.

However, should the contractor submit his bid under Option A, in which payment is made to the State by the contractor, and the above unavailable conditions should exist, the unavailable parcel or parcels shall be deleted from the contract. The unavailable parcel or parcels shall be released from the contract at no expense to the State, except for the return of the money in the amount or amounts entered and submitted for said parcel or parcels under contract change order.

The contract time affected by the deletion of the parcel or parcels will be terminated on the date of the last suspension date of the completion of the work of the last structure or structures.

Unless otherwise specifically provided, no additional or extra compensation or additional contract time will be allowed due to deferment or suspension of operations.

Should the contractor, whether the bid is submitted under Option "A" or Option "B", fail to complete the work within the time agreed upon in the contract or within such extra time as

may be allowed by extension, there shall be liquidated damages deducted from any monies due the contractor, for each and every calendar day, including Sundays and holidays, that the work shall remain uncompleted, in accordance with standard spec 108.11. The sum shall be considered and treated not as a penalty, but as fixed, agreed, and liquidated damages due the State from the contractor by reason of inconvenience to the public, added cost of engineering and supervision, and other items that have caused an expenditure of public funds resulting from the failure to complete the work within the time specified in the contract.

Permitting the contractor to continue and finish the work or any part of it after the time fixed for its completion, or after the date to which the time for completion may have been extended, shall in no way operate as a waiver on the part of the department of any of its rights under the contract.

4. Proposal Requirements and Conditions.

Standard spec 102.1, Prequalifying Bidders, shall not apply to this contract; however, prior to awarding a contract, the department may require the bidder to produce evidence that he, she or it has performed work of a similar character in a satisfactory manner.

5. Subletting or Assignment of Contract.

Standard spec 108.1, which prescribes the minimum amount of work to be performed with the contractor's own organization, shall not apply to this contract. However, if a subcontractor (including, but not limited to, asbestos removal specialists) will be employed, the bidder shall attach the name, address and specialty of that contractor to the page of the bid in the spaces indicated for that use.

6. Award of Contract.

The department will consider the bids submitted in the proposal and reserve the right to award the work on the basis of lowest responsible bidder, meeting all terms and conditions of these specifications.

7. Cancellation of Contract.

In the event the building(s) should be so severely damaged by fire, windstorm, or other act of God as to materially impair the salvage value of the material contained therein after the bid has been made and submitted on the date and hour set forth and before the contract has been executed by the state and the contractor notified thereof, the contractor may file a request for the cancellation of the contract. If, upon finding by the department that such is the fact, the department will cancel the contract and relieve the contractor of all responsibility there under.

In the event, however, that the department should determine that such damage is only minor or inconsequential, the contractor will be required to fulfill the terms of this contract.

8. Standard Insurance Requirements.

Standard insurance requirements shall be in accordance with standard spec 107.26 and as hereinafter provided.

If this project includes only razing and removing of residential units, revise the insurance table provided in paragraph 1 of standard spec 107.26 as follows:

Type of Insurance	Minimum Limits Required*
1. Commercial General Liability Insurance; shall be endorsed to include blanket contractual liability coverage.	\$2 Million Combined Single Limits per Occurrence; may be subject to an Annual Aggregate Limit of not less than \$2 Million.
2. Workers' Compensation and Employer's Liability Insurance.	Workers' Compensation: Statutory Limits Employer's Liability: Bodily Injury by Accident: \$100,000 Each Accident Bodily Injury by Disease: \$500,000 Each Accident \$100,000 Each Employee
3. Commercial Automobile Liability Insurance; shall cover all contractor-owned, non-owned, and hired vehicles used in carrying out the contract.	\$1 Million-Combined Single Limits Per Occurrence.

**The contractor may satisfy these requirements through primary insurance coverage or through a combination of primary and excess/umbrella policies.*

9. Traffic.

Maintain pedestrian and vehicular traffic on the roads and highways adjacent to these premises through the life of this contract.

10. Legal Relations and Responsibility to the Public.

Add the following to standard spec 107.3:

Procure all permits necessary to carry out the work, including those necessary while the roads and highways are obstructed either by operations or by the storage of equipment or materials.

The awarding of this contract does not guarantee the issuance of a permit to move any structures over state highways.

The contractor agrees not to move any of the structures within a proposed highway corridor of the State of Wisconsin.

Add the following to standard spec 107.8:

Notify the local law enforcement agency, fire department, and any surface transportation company that may be affected by the anticipated street obstructions or hazards.

Add the following to standard spec 107.22:

Notify the various public or municipal utility companies to disconnect and remove such of their facilities as may be in the buildings, or attached to them, sufficiently in advance of beginning razing operations to allow the utilities to make their disconnections.

11. Protection of Streams, Lakes and Reservoirs.

Standard spec 107.18 shall apply.

12. Underground Fuel Storage Tanks.

The successful bidder will be supplied with a copy of the Environmental Site Assessment for each parcel for which an assessment was deemed necessary or for sites on which underground storage tanks were removed. A private consultant will remove any tanks discovered during the Environmental Site Assessment before razing activities begin.

If tanks are discovered on the site during razing that were not removed as part of or in the absence of an Environmental Site Assessment, immediately cease razing operations on the site and contact the department. The department will hire a private consultant to remove the discovered tanks.

13. Asbestos Removal.

Comply with the requirements of the Environmental Protection Agency (EPA) regulations, National Emission Standards for Asbestos, the Occupational, Safety and Health Administration (OSHA) regulations on asbestos removal, all applicable Wisconsin

Department of Natural Resources (DNR) regulations, and local government regulations. The most recent editions of all applicable standards, codes or regulations shall be in effect. Where conflict among the requirements of these specifications occurs, follow the most stringent. In addition, the following requirements apply to this work:

Any person performing asbestos abatement must comply with all training and certification requirements, rules, regulations and laws of the State of Wisconsin regarding asbestos removal. If you plan to demolish a building that may contain or is known to contain asbestos, proper notification must be provided to the Department of Natural Resources (DNR) and the Wisconsin Department of Health Services (DHS), at least 10 working days before starting the work. *Note: Wisconsin DNR Central Office phone: (608) 266-2621 – reference: DNR Form 4500-113 "Notification of Demolition and/or Renovation and Application for Permit Exemption". Wisconsin DHS Asbestos & Lead Section Central Office phone (608) 261-6876 - reference: DHS Form F-00041 "Asbestos Project Notification."*

Reference: <http://dnr.wi.gov/topic/Demo/Asbestos.html>

Reference: <http://dhs.wisconsin.gov/waldo>

Asbestos removal is considered incidental to razing and removing buildings and will not be measured for payment separately.

14. Notice to Department of Natural Resources.

Notify the Wisconsin Department of Natural Resources (DNR) located at 473 Griffith Avenue, Wisconsin Rapids, WI 54494 Phone 715-421-7800, at least ten working days in advance of the contractor's intent to raze or otherwise remove each parcel. In the notice to DNR, include the address and type of building(s) to be razed or removed, the proposed date that each will be razed or removed, and the name of the licensed or approved landfill where the demolition waste will be disposed. Mail a copy of this notice within ten days of DNR notification to: Right of Way Professionals, Inc. Attn: Dave Selissen, 1030 Oak Ridge Drive, Suite E, Eau Claire, WI 54701.

The contractor's failure to comply with the requirements of this article shall subject the contractor to a penalty of liquidated damages pursuant to standard spec 108.11. The liquidated damages formula will apply for each day in which the provisions of this article are not met.

The well abandonment subcontractor shall prepare and submit to the DNR the Well Abandonment Report form(s), required by law in the manner prescribed herein.

Provide copy of the Well Abandonment Report form(s), within 30 days of abandonment, to: Right of Way Professionals, Inc. Attn: Dave Selissen, 1030 Oak Ridge Drive, Suite E, Eau Claire, WI 54701.

15. Disposal of Materials.

Add the following to standard spec 104.8:

All salvage removed from the buildings, including fixtures and appurtenances such as screens and storm sash, shall be the property of the contractor and shall be entirely removed from the premises.

Clear the entire premises of all decomposable and combustible refuse, debris, and materials resulting from the removal of the buildings. Upon completion of the work, leave the entire premises in a neat condition. Do not deposit or leave decomposable or combustible refuse, debris, or materials resulting from the removal of the buildings on any state-owned lands, or right-of-way of any highways, including any exposed openings resulting from razing activities.

All living trees, shrubs, evergreens and other vegetation shall remain the department's property. Use care to preserve as much of the landscaping as is reasonably possible.

16. Custody of the Building.

Upon written order by the department representative to commence work, the buildings and surrounding state-owned property shall be under the custody of the contractor. Nothing in this proposal shall be interpreted as setting forth the condition of any building or the appurtenances thereto. Except as otherwise provided herein, it is to be understood that the department accepts no responsibility for the protection of buildings and appurtenances against damages sustained either prior to or subsequent to the time of the letting of the work under this contract. The contractor shall take such measures as are necessary to safeguard the public from damages or injury.

While the buildings are in the contractor's custody, keep the buildings in a closed condition. Do not remove doors or windows from the buildings until the actual day of razing, unless all openings are sealed as approved by the engineer. Only the contractor and his subcontractor shall salvage building components. At all times, do not allow the general public in the buildings or on the grounds.

17. Removing Buildings.

Amend standard spec 204.3.2.3 to allow removal of buildings, by relocation, intact to a new site beyond the right of way limits.

If the contractor elects to move structure(s) from the parcels, regardless if bidding under Option A or B, but fails to remove the structure(s) from the premises by the time set forth earlier in this contract for completion, the contractor shall forfeit any and all rights, title and interest in the structure(s), and the structure(s) and any salvageable materials remaining on the premises shall revert to the ownership and control of the Wisconsin Department of Transportation to dispose of as it sees fit; but nothing shall in any way release the contractor from any of the contractor's duties, obligations or liability under the terms and provisions of this contract. The contractor shall not sell, nor in any manner transfer title of the structure(s) to a third party until the structure(s) is removed from the right-of-way limits.

The department has no knowledge regarding the condition of the structure(s) or their related components. The department cannot and does not warrant the condition of the structure(s) or their components, nor does the department warrant, guarantee, or imply the suitability of the structure(s) for moving.

18. Removal and Razing Operations.

This work shall be in accordance with standard spec 204 and as hereinafter provided.

Furnish all labor, equipment, tools, transportation, and incidentals necessary for the performance of the work.

Remove all concrete steps, concrete sidewalks, and concrete slabs from the premises.

In compliance with the ordinances and permit requirements of the municipality in which the buildings are situated, and in the presence of the local governing unit, a certified/licensed well driller, pump installer or water system operator shall seal or abandon all sewer and water lines and/or wells pursuant to Wisconsin Statute §280.30 and the Natural Resources portion of the Wisconsin Administrative Code covered under NR 811 and 812.

Until standing walls have been razed, the walls shall be reasonably and safely braced at all times to ensure complete safety during the wrecking operations.

Break and remove entirely from the site all basement walls, floors and footings.

Dispose of all non-hazardous demolition waste in a landfill licensed or approved in writing by the Department of Natural Resources and in accordance with NR500, Wisconsin Administrative Code. Failure to properly dispose of solid waste is a violation of State Solid Waste Statutes and Administrative code and is subject to issuance of a citation under Wisconsin Statute §287.81(2)(a).

Remove all hazardous materials from the site, only after proper notification and compliance with the department requirements of the Wisconsin Department of Natural Resources (DNR) and local government regulations.

Remove all material from the premises in a safe manner and in compliance with all applicable laws and ordinances. Do not disturb adjacent property.

19. Backfill.

Prior to any backfill operations, notify the regional office of the Department of Transportation to inspect all exposed areas resulting from the razing and removal operations. Contact Wisconsin Department of Transportation, North Central Region, Attn: Korey Boehm, P.E., 1681 2nd Ave. South, Wisconsin Rapids, WI 54495, Phone 715-459-2943 for this inspection.

Ensure that all exposed basements and openings are free of all refuse and debris.

Backfill exposed basements and openings in accordance with standard spec 204.3.1.2 to the present surrounding ground elevation. Compaction of backfill shall be in accordance with standard spec 207.3.6.2. Furnish backfill meeting the requirements of standard spec 209 for use as backfill material.

Fill the septic systems with granular material and abandon all wells and/or sanitary sewers, if any, in compliance with all ordinances and permit requirements of the municipality in which the buildings are situated and those of the State of Wisconsin.

20. Fencing.

After removing the buildings, furnish and erect suitable fencing around the basement, porch openings, and other large open excavations to protect and safeguard the public from all hazardous conditions created by the operations. Install the fencing in such a manner to ensure that the general public is prevented from falling into any openings. The fence shall be a height of 52 inches, and the posts shall be at least 58-inches high and spaced at a distance no greater than ten feet apart. After all open excavations have been backfilled satisfactorily, remove the fencing.

NOT FOR BIDDING PURPOSES

ADDITIONAL SPECIAL PROVISION 4

Payment to First-Tier Subcontractors

Within 10 calendar days of receiving a progress payment for work completed by a subcontractor, pay the subcontractor for that work. The prime contractor may withhold payment to a subcontractor if, within 10 calendar days of receipt of that progress payment, the prime contractor provides written notification to the subcontractor and the department documenting "just cause" for withholding payment.

The prime contractor may also withhold routine retainage from payments due subcontractors.

Payment to Lower-Tier Subcontractors

Ensure that subcontracting agreements at all tiers provide prompt payment rights to lower-tier subcontractors that parallel those granted first-tier subcontractors in this provision.

Release of Routine Retainage

After granting substantial completion the department may reduce the routine retainage withheld from the prime contractor to 75 percent of the original total amount retained.

When the Department sends the semi-final estimate the department may reduce the routine retainage withheld from the prime contractor to 10 percent of the original total amount retained.

Within 30 calendar days of receiving the semi-final estimate from the department, submit written certification that subcontractors at all tiers are paid in full for acceptably completed work and that no routine retainage is being withheld. The department will pay the prime contractor in full and reduce the routine retainage withheld from the prime contractor to zero when the department approves the final estimate.

This special provision does not limit the right of the department, prime contractor, or subcontractors at any tier to withhold payment for work not acceptably completed or work subject to an unresolved contract dispute.

NOT FOR BIDDING PURPOSES

ADDITIONAL SPECIAL PROVISION 6
ASP 6 - Modifications to the standard specifications

Make the following revisions to the standard specifications:

104.10.1 General

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Subsection 104.10 specifies a 2-step process for contractors to follow in submitting a cost reduction incentive (CRI) for modifying the contract in order to reduce direct construction costs computed at contract bid prices. The initial submittal is referred to as a CRI concept and the second submittal is a CRI proposal. The contractor and the department will equally share all savings generated to the contract due to a CRI as specified in 104.10.4.2(1). The department encourages the contractor to submit CRI concepts.

104.10.4.2 Payment for the CRI Work

Replace paragraph one with the following effective with the December 2017 letting:

- (1) The department will pay for completed CRI work as specified for progress payments under 109.6. The department will pay for CRI's under the Cost Reduction Incentive administrative item. When all CRI costs are determined, the department will execute a contract change order that does the following:
 1. Adjusts the contract time, interim completion dates, or both.
 2. Pays the contractor for the unpaid balance of the CRI work.
 3. Pays the contractor 50 percent of the net savings resulting from the CRI, calculated as follows:

$$NS = CW - CRW - CC - DC$$

Where:

- NS** = Net Savings
- CW** = The cost of the work required by the original contract that is revised by the CRI. CW is computed at contract bid prices if applicable.^[1]
- CRW** = The cost of the revised work, computed at contract bid prices if applicable.^[1]
- CC** = The contractor's cost of developing the CRI proposal.
- DC** = The department's cost for investigating, evaluating, and implementing the CRI proposal.

^[1] The department may adjust contract bid prices that, in the engineer's judgement, do not represent the fair value of the work deleted or proposed.

108.11 Liquidated Damages

Replace paragraphs two and three with the following effective with the December 2017 letting:

- (2) This deducted sum is not a penalty but is a fixed, agreed, liquidated damage due the department from the contractor for the added cost of engineering and supervision resulting from the contractor's failure to complete the work within the contract time.
- (3) Unless enhanced in the special provisions, the department will assess the following daily liquidated damages

LIQUIDATED DAMAGES			
ORIGINAL CONTRACT AMOUNT		DAILY CHARGE	
FROM MORE THAN	TO AND INCLUDING	CALENDAR DAY	WORKING DAY
\$0	\$250,000	\$850	\$1700
\$250,000	\$500,000	\$815	\$1630
\$500,000	\$1,000,000	\$1250	\$2500
\$1,000,000	\$2,000,000	\$1540	\$3080
\$2,000,000	—	\$2070	\$4140

203.3.2.2 Removal Operations

Replace the entire text with the following effective with the December 2017 letting:

203.3.2.2.1 General

- (1) Except as specified below for closing culverts, remove the entire top slab of box culverts and the entire superstructure of other culverts and bridges designated for removal. Completely remove existing piles, cribs, or other timber construction within the limits of new embankments, or remove these structures to an elevation at least 2 feet below finished ground line. Remove sidewalls or substructure units in water to an elevation no higher than the elevation of the natural stream or lake bed, or, if grading the channel is required under the contract or the plans, to the proposed finished grade of the stream or lake bed. Remove sidewalls or substructure units not in water down to at least 2 feet below natural or finished ground line.
- (2) If extending or incorporating existing culverts and bridges in the new work, remove only those parts of the existing structure as necessary to provide a proper connection to the new work. Saw, chip, or trim the connecting edges to the required lines and grades without weakening or damaging the remaining part of the structure. During concrete removal, do not damage reinforcing bars left in place as dowels or ties incorporated into the new work.
- (3) Remove pipe culverts designated for salvage in a way that prevents damage to the culverts.
- (4) Dismantle steel structures or parts of steel structures designated for salvage in a way that avoids damage to the members. If the contract specifies removing the structure in a way that leaves it in a condition suitable for re-erection, matchmark members with durable white paint before dismantling. Mark pins, bolts, nuts, loose plates, etc., similarly to indicate their proper location. Paint pins, bolts, pinholes, and machined surfaces with a department-approved rust preventative. Securely wire loose parts to adjacent members, or label and pack them in boxes.
- (5) Remove timber structures or parts of timber structures designated for salvage in a way that prevents damage to the members.
- (6) If the engineer approves, the contractor may temporarily use materials designated for salvage in falsework used to construct new work. Do not damage or reduce the value of those materials through temporary use.

203.3.2.2.2 Deck Removal

- (1) Protect the work as specified in 107.14 during deck removal. Minimize debris falling onto water surfaces and wetlands as the contract specifies in 107.18 or in the special provisions. Also, minimize debris falling on the ground and roadway.
- (2) Do not damage existing bar steel reinforcement, girders, or other components that will be incorporated in new work. Remove decks on prestressed concrete girders using a hydraulic shear or other engineer-approved equipment. Thoroughly clean, realign, and retie reinforcement as necessary.
- (3) After deck removal is complete, notify the engineer to request a damage survey. Point out damage to the engineer. Allow one business day for the engineer to complete the damage survey. If damage is identified, the department will determine if repairs or girder restoration will be allowed.
- (4) If the department allows girder restoration, have a professional engineer registered in the State of Wisconsin analyze the effect of the damage to the bridge, make recommendations, and prepare signed and sealed computations and structural details required to restore girders to their previous structural capacity. Submit the restoration proposal, including analysis and structural details, to the department and design engineer of record. The department will accept or reject the restoration proposal within 3 business days. Do not begin restoration work until the department allows in writing.
- (5) The engineer will not extend contract time to assess or remediate contractor caused damage.

203.5.1 General

Replace paragraph two with the following effective with the December 2017 letting:

- (2) Payment is full compensation for breaking down and removing; costs associated with contractor-caused damage; required salvaging, storing, and disposing of materials; and, unless the contract specifies granular backfill, for backfilling.

415.2.3 Expansion Joint Filler

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Furnish expansion joint filler conforming to AASHTO M153, AASHTO M213, or ASTM D8139 in lengths equal to the pavement lane width and of the thickness and height the plans show. Where dowel bars are required, use filler with factory-punched holes at the dowel bar locations and with a diameter not greater than 1/8 inch larger than the nominal dowel bar diameter.
-

415.3.20 Filling Joints

Replace paragraph two with the following effective with the December 2017 letting:

- (2) Clean joints of laitance, curing compound, and other contaminants before filling. Saw construction joints at least 3/4 inches deep before filling. Sawing is not required for tooled joints in curb and gutter. Sandblast or waterblast exposed joint faces using multiple passes as required to clean joint surfaces of material that might prevent bonding. Blow clean and dry with oil-free compressed air immediately before filling.
-

415.5.1 General

Replace paragraph six with the following effective with the December 2017 letting:

- (6) Payment for Concrete Pavement Joint Filling is full compensation for filling concrete pavement joints; filling adjacent curb and gutter joints; and for sawing.
-

440.3.4.2 Contractor Testing

Replace paragraph two with the following effective with the December 2017 letting:

- (2) Coordinate with the engineer at least 24 hours before making profile runs for acceptance unless the engineer approves otherwise. The department may require testing to accommodate staged construction or if corrective action is required.
-

455.5.3 Tack Coat

Replace paragraph two with the following effective with the December 2017 letting:

- (2) The department will adjust pay for Tack Coat, under the Nonconforming Tack Coat administrative item, for nonconforming material the engineer allows to remain in place at a maximum of 75 percent of the contract unit price.

460.2.7 HMA Mixture Design

Replace paragraph one with the following effective with the December 2017 letting:

- (1) For each HMA mixture type used under the contract, develop and submit an asphaltic mixture design according to CMM 8-66 and conforming to the requirements of table 460-1 and table 460-2. The values listed are design limits; production values may exceed those limits. The department will review mixture designs and report the results of that review to the designer according to CMM 8-66.

TABLE 460-2 MIXTURE REQUIREMENTS

Mixture type	LT	MT	HT	SMA
ESALs x 10 ⁶ (20 yr design life)	<2.0	2 - <8	>8	
LA Wear (AASHTO T96)				
100 revolutions(max % loss)	13	13	13	13
500 revolutions(max % loss)	50	45	45	40
Soundness (AASHTO T104) (sodium sulfate, max % loss)	12	12	12	12
Freeze/Thaw (AASHTO T103) (specified counties, max % loss)	18	18	18	18
Fractured Faces (ASTM D5821) (one face/2 face, % by count)	65/___	75 / 60	98 / 90	100/90
Flat & Elongated (ASTM D4791) (max %, by weight)	5 (5:1 ratio)	5 (5:1 ratio)	5 (5:1 ratio)	20 (3:1 ratio)
Fine Aggregate Angularity (AASHTO T304, method A, min)	40	43	45	45
Sand Equivalency (AASHTO T176, min)	40	40	45	50
Gyratory Compaction				
Gyrations for N _{ini}	6	7	8	8
Gyrations for N _{des}	40	75	100	65
Gyrations for N _{max}	60	115	160	160
Air Voids, %V _a (%G _{mm} N _{des})	4.0 (96.0)	4.0 (96.0)	4.0 (96.0)	4.0 (96.0)
% G _{mm} N _{ini}	<= 91.5 ^[1]	<= 89.0 ^[1]	<= 89.0	___
% G _{mm} N _{max}	<= 98.0	<= 98.0	<= 98.0	___
Dust to Binder Ratio ^[2] (% passing 0.075/P _{be})	0.6 - 1.2	0.6 - 1.2	0.6 - 1.2	1.2 - 2.0
Voids filled with Binder (VFB or VFA, %)	68 - 80 ^{[4][5]}	65 - 75 ^{[3][5]}	65 - 75 ^{[3][5]}	70 - 80
Tensile Strength Ratio (TSR) (AASHTO T283) ^{[6][7]}				
no antistripping additive	0.75 min	0.75 min	0.75 min	0.75 min
with antistripping additive	0.80 min	0.80 min	0.80 min	0.80 min
Draindown (AASHTO T305) (%)	___	___	___	0.30

^[1] The percent maximum density at initial compaction is only a guideline.

^[2] For a gradation that passes below the boundaries of the caution zone (ref. AASHTO M323), the dust to binder ratio limits are 0.6 - 1.6.

^[3] For No. 5 (9.5mm) and No. 4 (12.5 mm) nominal maximum size mixtures, the specified VFB range is 70 - 76 percent.

^[4] For No. 2 (25.0mm) nominal maximum size mixes, the specified VFB lower limit is 67 percent.

^[5] For No. 1 (37.5mm) nominal maximum size mixes, the specified VFB lower limit is 67 percent.

^[6] WisDOT eliminates freeze-thaw conditioning cycles from the TSR test procedure.

^[7] Run TSR at asphalt content corresponding to 3.0% air void regressed design using distilled water for testing.

460.2.8.2.1.3.1 Contracts with 5000 Tons of Mixture or Greater

Replace paragraph six with the following:

- (6) Conduct TSR tests during mixture production according to CMM 8-36.6.14. Test each full 50,000 ton production increment, or fraction of an increment, after the first 5000 tons of production. Perform required increment testing in the first week of production of that increment. If production TSR values are below the limit specified in CMM 8-36.6.14, notify the engineer. The engineer and contractor will jointly determine a corrective action.

502.2.7 Preformed Joint Filler

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Use preformed joint filler conforming to AASHTO M153, AASHTO M213, or ASTM D8139.

502.3.7.8 Floors

Replace paragraph fourteen with the following effective with the December 2017 letting:

- (14) Unless specified otherwise, transversely tine finish the floors of structures with approach pavements designed for speeds of 40 mph or greater as specified in 415.3.8.3, except make the tining 1/8 inch in depth and do not perform tining within 12 inches of gutters. The contractor may apply a broom finish, described below, instead of the artificial turf drag finish required before tining. The contractor may perform tining manually, if it obtains a finish satisfactory to the engineer. Perform tining within 20 degrees of the centerline of bearing of the substructure units on bridge decks having skew angles of 20 degrees or greater.

505.2.6 Dowel Bars and Tie Bars

Replace the entire text with the following effective with the March 2018 letting:

505.2.6.1 General

- (1) Furnish bars coated in a plant certified by the Concrete Reinforcing Steel Institute. For dowel bars and straight tie bars, there is no requirement for bend tests. Ensure that the bars are the specified diameter and length the plans show.
- (2) The contractor need not coat or patch sawed ends, sheared ends, cut ends, ends left bare during the coating process, or ends with damaged coating.
- (3) The contractor need not repair circumferential coating damage from shipping, handling, or installation, if the following conditions are met:
 1. The damaged area is 1/4 inch square or smaller.
 2. The total damaged area in any one-foot length does not exceed 2 percent of the circumferential area in that length.
- (4) Repair areas of damaged circumferential coating larger than 1/4 inch square. Reject bars with total damage greater than 2 percent of the bar's circumferential area.

505.2.6.2 Dowel Bars**505.2.6.2.1 General**

- (1) Ensure that the bars are straight, round, smooth, and free from burrs or other deformations detrimental to the free movement of the bar in the concrete.
- (2) Saw bars to the required length. For solid bars, the department will allow shearing if no damage occurs to the coating and shearing distortions do not exceed the following:
 1. No distorted diameter is more than 0.04 inches greater than the true diameter.
 2. No distortion extends more than 0.40 inches from the sheared end.
- (3) Apply a surface treatment to loose dowels, or furnish manufacturer-treated bars in dowel bar baskets, capable of preventing bond between the epoxy-coated bars and the concrete. Apply field surface treatments when loading bars in the dowel bar magazine.

505.2.6.2.2 Solid Dowel Bars

- (1) Furnish coated bars conforming to AASHTO M31 grade 40 or 60. Alternatively the contractor may furnish dowel bars conforming to AASHTO M227 grade 70-80. Coat with a thermosetting epoxy conforming to AASHTO M254, type B.

505.2.6.2.3 Tubular Dowel Bars

- (1) Furnish welded steel tubular bars conforming to ASTM A513 fabricated from plain carbon steel with a minimum tensile yield strength of 60 ksi and sized as follows:

SOLID BAR SPECIFIED DIAMETER	MINIMUM REQUIRED OUTSIDE DIAMETER	MINIMUM BASE METAL WALL THICKNESS
1 1/4-inch	1 5/16 inches	0.120 inch
1 1/2-inch	1 5/8 inches	0.120 inch

- (2) Cap bar ends to prevent intrusion of concrete or other materials. Ensure that tubing is galvanized on the exterior and interior according to ASTM A653 with a G40 zinc coating and apply 7-13 mils of epoxy to the galvanized exterior according to AASHTO M254, Type B.

505.2.6.2.4 High Performance Dowel Bars

- (1) As an alternate the contractor may furnish high performance dowel bars from the department's APL.

505.2.6.3 Tie Bars

- (1) Furnish coated bars conforming to AASHTO M31 grade 40 or 60. Coat tie bars as specified in 505.2.4 for coated high-strength steel reinforcement. Ensure that the tie bars are the shape the plans show.
- (2) Repair, with compatible coating material, the bend location of field-straightened coated tie bars.

614.2.1 General

Add the following as paragraph ten effective with the December 2017 letting:

- (10) Furnish guardrail reflectors from the department's APL.

614.3.2.1 Installing Posts

Add the following as paragraph five effective with the December 2017 letting:

- (5) Provide post-mounted reflectors every 100 feet with one at the beginning and end of each run and a minimum of three reflectors per run.

614.5 Payment

Replace paragraph four with the following effective with the December 2017 letting:

- (4) Payment for the Steel Thrie Beam, Steel Plate Beam Guard, Guardrail Stiffened, MGS Guardrail, Short Radius, and various transition bid items is full compensation for providing guardrail and transitions including post-mounted reflectors; for repairing damaged zinc coatings; and for excavating, backfilling, and disposing of surplus material.

641.2.9 Overhead Sign Supports

Replace paragraph three with the following effective with the December 2017 letting:

- (3) Provide steel pole shafts, mast arms or trusses, and luminaire arms zinc coated according to ASTM A123. The contractor may provide either straight or tapered pole and arm shafts unless the plans specify otherwise. Provide bolts and other hardware conforming to 641.2.2.

642.2.2.1 General

Replace the entire text with the following effective with the December 2017 letting:

- (1) Provide each field office with two rooms, separated by an interior door with a padlock. Ensure that each room has a separate exterior door and its own air conditioner. Locate the office where a quality internet connection can be achieved.
- (2) Provide long distance telephone service via a land line for exclusive department use that has the following:
 - Two programmable touch-tone phones, one of which is cordless. Ensure that phone operations will not interfere with other telecommunications equipment.
 - Voice mail service or an answering machine.
- (3) Provide high-speed internet service for exclusive department use via cable or DSL connection with a modem/router and capable of supporting cloud enabled file sharing, voice over internet protocol (VoIP), video conferencing, and web based applications. Ensure that system meets the following:
 - Includes a wireless network for the field office.
 - Can accommodate IPSec based VPN products.
 - Has a bandwidth range as follows:
 - Field office with 1-5 staff: A minimum connection speed of 5 Mbps download and 1 Mbps upload. If a cable or DSL option is not available the contractor may provide a personal hotspot using cell phone tethering or other device able to achieve the specified minimum speeds inside the field office.
 - Field office with 6 or more staff: A minimum connection speed of 10 Mbps + 1/2 Mbps per user download and 5 Mbps upload.
 - Projects over 500 million dollars: A minimum connection speed of 20 Mbps + 1/2 Mbps per user download and 10 Mbps upload. Coordinate network setup at the leased office with the WisDOT network team.
- (4) Provide and maintain a Windows 7 and Windows 10 compliant multi-function device with copy, print, and scan capabilities that can accommodate both 8 1/2" x 11" and 11" x 17" paper. Replenish paper, toner cartridges, and other supplies before fully expended. Ensure that department staff can connect to the device either directly or through the field office wireless network.
- (5) Equip with a drafting table with a drafter's stool. Except as specified in 642.2.2.4, provide 2 ergonomically correct office chairs in working condition with, at a minimum, the following:
 1. Five-legged base with casters.
 2. Seat adjustable from 15 to 22 inches from the floor with a seamless waterfall, rounded, front edge.
 3. High backrest with no arms or adjustable arms.

643.3.1 General

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Provide and maintain traffic control devices located where the plans show or engineer directs to maintain a safe work zone throughout the contract duration. Relocate as required to accommodate changing work operations. When not in use, place devices away from traffic outside of paved and gravel shoulder surfaces. Where there is barrier on the shoulder, the contractor may place devices not in use on the shoulder as close as possible to the barrier and delineated with drums. Lay signs and supports flat on the grade with uprights oriented parallel to and downstream from traffic. Do not stack devices or equipment. Promptly remove temporary devices from within the project limits as follows:
 - That will not be used within 14 consecutive calendar days.
 - Within 5 business days of substantial completion unless the engineer allows otherwise.

645.2.2.2 Geotextile, Type SAS (Subgrade Aggregate Separation)

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Furnish fabric conforming to the following physical properties:

TEST	METHOD	VALUE ^[1]
Minimum grab tensile strength	ASTM D4632	170 lb
Minimum puncture strength	ASTM D6241	350 lb
Maximum apparent opening size	ASTM D4751	No. 70
Minimum permittivity	ASTM D4491	0.35 s ⁻¹

^[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

645.2.2.4 Geotextile, Type DF (Drainage Filtration)

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Furnish fabric conforming with the physical requirements of either schedule A, schedule B, or schedule C as the contract specifies.

SCHEDULE A TEST	METHOD	VALUE[1]
Minimum grab tensile strength	ASTM D4632	110 lb
Minimum puncture strength	ASTM D6241	200 lb
Minimum apparent breaking elongation	ASTM D4632	30%
Maximum apparent opening size	ASTM D4751	300 μm
Minimum permittivity	ASTM D4491	0.70 s ⁻¹
SCHEDULE B TEST	METHOD	VALUE ^[1]
Minimum grab tensile strength	ASTM D4632	180 lb
Minimum puncture strength	ASTM D6241	350 lb
Minimum apparent breaking elongation	ASTM D4632	30%
Maximum apparent opening size	ASTM D4751	300 μm
Minimum permittivity	ASTM D4491	1.35 s ⁻¹
SCHEDULE C TEST	METHOD	VALUE ^[1]
Minimum grab tensile strength	ASTM D4632	180 lb
Minimum puncture strength	ASTM D6241	350 lb
Minimum apparent breaking elongation	ASTM D4632	15%
Maximum apparent opening size	ASTM D4751	600 μm
Minimum permittivity	ASTM D4491	1.00 s ⁻¹

^[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

645.2.2.6 Geotextile, Type R (Riprap)

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Use fabric conforming to the following physical properties:

TEST	METHOD	VALUE ^[1]
Minimum grab tensile strength	ASTM D4632	205 lb
Minimum puncture strength	ASTM D6241	400 lb
Minimum apparent breaking elongation	ASTM D4632	15%
Maximum apparent opening size	ASTM D4751	No. 30
Minimum permittivity	ASTM D4491	0.12 s ⁻¹

^[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

645.2.2.7 Geotextile, Type HR (Heavy Riprap)

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Use fabric conforming to the following physical properties:

TEST	METHOD	VALUE ^[1]
Minimum grab tensile strength, lb	ASTM D4632	305 lb
Minimum puncture strength, lb	ASTM D6241	500 lb
Minimum apparent breaking elongation, %	ASTM D4632	15%
Maximum apparent opening size	ASTM D4751	No. 30
Minimum permittivity	ASTM D4491	0.40, s ⁻¹

^[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

645.2.2.8 Geotextile, Type C (Modified SAS)

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Use fabric conforming to the following physical properties:

TEST	METHOD	VALUE ^[1]
Grab tensile strength, lb	ASTM D4632	205 lb
Puncture strength, lb	ASTM D6241	350 lb
Maximum apparent opening size	ASTM D4751	No. 50
Minimum permittivity	ASTM D4491	0.12 s ⁻¹

^[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

646.3.1.1 General Marking

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Prepare the surface and apply marking as the manufacturer specifies. Provide manufacturer specifications as the engineer requests. Do not mark over a marking product with less adherence or over chipped or peeled marking. Do not remove polymer overlay materials in areas receiving pavement marking. Use only epoxy pavement marking where the contract requires marking placed on polymer overlays.

Replace paragraph five with the following effective with the December 2017 letting:

- (5) After the marking can sustain exposure to traffic, re-apply clear protective surface treatment conforming to 502.2.11 where removed from structures during marking surface preparation. Seal exposed concrete including grooves for tape. Cover marking during resealing with a system that will not degrade the marking's retroreflectivity when removed. Uncover marking before opening to traffic.

701.3 Contractor Testing

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Perform contract required QC tests for samples randomly located according to CMM 8-30. Also perform other tests as necessary to control production and construction processes, and additional testing enumerated in the contractor's quality control plan or that the engineer directs. Use test methods as follows:

TABLE 701-2 TESTING STANDARDS

TEST	TEST STANDARD
Washed P 200 analysis	AASHTO T11 ^[1]
Sieve analysis of fine and coarse aggregate	AASHTO T27 ^[1]
Aggregate moisture	AASHTO T255 ^[1]
Sampling freshly mixed concrete	AASHTO R60
Air content of fresh concrete	AASHTO T152 ^[2]
Air void system of fresh concrete	AASHTO Provisional Standard TP118
Concrete slump	AASHTO T119 ^[2]
Concrete temperature	ASTM C1064
Concrete compressive strength	AASHTO T22
Making and curing concrete cylinders	AASHTO T23
Standard moist curing for concrete cylinders	AASHTO M201

^[1] As modified in CMM 8-60.

^[2] As modified in CMM 8-70.

715.2.3.1 Pavements

Add the following as paragraph six effective with the December 2017 letting:

- (6) For new lab-qualified mixes, test the air void system of the proposed concrete mix conforming to AASHTO provisional standard TP 118. Include the SAM number as a part of the mix design submittal.

715.3.1.1 General

Replace paragraph one with the following effective with the December 2017 letting:

- (1) Provide slump, air content, concrete temperature and compressive strength test results as specified in 710.5. Provide a battery of QC tests, consisting of results for each specified property, using a single sample randomly located within each subplot. Cast three cylinders for strength evaluation. For pavement concrete, also test the air void system conforming to AASHTO provisional standard TP118 at least once per lot and enter the SAM number in the MRS for information only.

715.3.1.3 Department Verification Testing

Replace paragraph one with the following effective with the December 2017 letting:

- (1) The department will perform verification testing as specified in 701.4.2 with additional testing as required to obtain at least 1 verification test per lot for air content, slump, temperature, and compressive strength.

Errata

Make the following corrections to the standard specifications:

106.3.3.1 General

Correct errata by changing "acceptance" to "approval".

- (1) For manufactured products or assemblies, the department may base approval on a product certification or require both a product certification and production plant certification.
-

205.3.1 General

Correct errata by replacing paragraphs three and four with the following to reflect current practice to incorporate suitable materials.

- (3) Replace unsuitable material with satisfactory material. Trim and finish the roadway. Maintain the work done under 205 in a finished condition until acceptance.
-

305.1 Description

Correct errata to clarify that the contractor may use more than one material under a single contract.

- (1) This section describes constructing a dense graded base using one or more of the following aggregates at the contractor's option:

Crushed stone	Reclaimed asphalt
Crushed gravel	Reprocessed material
Crushed concrete	Blended material

521.2 Materials

Correct errata by deleting bullet three and including aluminum coated pipe in bullet one.

- (1) Furnish corrugated steel pipe and steel apron end walls as follows:
- Corrugated steel culvert pipe, steel apron endwalls, aluminum coated corrugated steel culvert pipe, and other components conforming to AASHTO M36.
 - Polymer coated corrugated steel culvert pipe and pipe arch fabricated from zinc coated sheet steel conforming to AASHTO M218. Before fabrication, coat the sheets on both sides with polymer protective coating grade 250/250 according to AASHTO M246. Fabricate the pipe according to AASHTO M245.
-

614.3.2.2 Installing Rail

Correct errata for splice location and allow punching or drilling holes and slots.

- (1) Install rail with lap splices in the direction of traffic. Ensure that the number and dimensions of holes and bolts conforms to the plan details for new splices. Place the round head of bolts on the traffic side.
- (2) Cut rails to length by shearing or sawing; do not use cutting torches. Drill or punch bolt holes and slots; ensure that they are burr free. After installation, cut anchor bolts that project more than one inch from the nut to 1/2 inch from the nut; deburr the threaded end of cut bolts.
-

618.1 Description

Correct errata by deleting designated detours from the scope of Maintenance and Repair of Haul Roads.

- (1) This section describes maintaining, repairing, and restoring all public roads, streets, drainage facilities, and other components used for hauling by contractor, subcontractor, or supplier to support work for a department contract to its pre-haul condition. Public roads and streets shall be limited to those not a part of the State Trunk Highway System and from now on called haul roads.

643.3.5.2 Cellular Communication

Correct errata by changing State Traffic Operations Center to Traffic Management Center.

- (2) A minimum of 14 days before deployment, demonstrate to the department that the cellular modem is capable of communications with the Traffic Management Center. If remote communications are interrupted or temporarily unavailable, the department will notify the contractor to change messages manually. Update messages within 2 hours of receiving notification.

646.3.1.2 Liquid Marking

Correct errata by changing "epoxy overlays" to "polymer overlays".

- (5) Apply liquid marking and glass beads across the line at or exceeding the following:

LIQUID MARKING	PAVEMENT TYPE	THICKNESS (mils)	BEAD APPLICATION (pounds per gallon)
Paint	all	16	8-10
Epoxy	SMA, seal coats, and polymer overlays	25	25
Epoxy	all other	20	22.5

654.5 Payment

Correct errata to clarify that contractor-provided anchor rods and associated hardware are incidental.

- (2) Payment for the Bases bid items is full compensation for providing concrete bases; for embedded conduit and electrical components; for anchor rods, nuts, and washers; for bar steel reinforcement; and for excavating, backfilling, and disposing of surplus materials.

NOT FOR BIDDING PURPOSES

Non-discrimination Provisions

During the performance of this contract, the contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the "contractor") agrees as follows:

1. Compliance with Regulations: The contractor (hereinafter includes consultants) will comply with the Acts and the Regulations relative to Non-discrimination in Federally-assisted programs of the U.S. Department of Transportation, Federal Highway Administration, as they may be amended from time to time, which are herein incorporated by reference and made a part of this contract.

2. Non-discrimination: The contractor, with regard to the work performed by it during the contract, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The contractor will not participate directly or indirectly in the discrimination prohibited by the Acts and the Regulations, including employment practices when the contract covers any activity, project, or program set forth in Appendix B of 49 CFR Part 21.

3. Solicitations for Subcontracts, Including Procurements of Materials and Equipment: In all solicitations, either by competitive bidding, or negotiation made by the contractor for work to be performed under a subcontract, including procurements of materials, or leases of equipment, each potential subcontractor or supplier will be notified by the contractor of the contractor's obligations under this contract and the Acts and the Regulations relative to Non-discrimination on the grounds of race, color, or national origin.

4. Information and Reports: The contractor will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto and will permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the Recipient or the Federal Highway Administration to be pertinent to ascertain compliance with such Acts, Regulations, and instructions. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish the information, the contractor will so certify to the Recipient or the Federal Highway Administration, as appropriate, and will set forth what efforts it has made to obtain the information.

5. Sanctions for Noncompliance: In the event of a contractor's noncompliance with the Non-discrimination provisions of this contract, the Recipient will impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to:

- a. Withholding payments to the contractor under the contract until the contractor complies; and/or
- b. Cancelling, terminating, or suspending a contract, in whole or in part.

6. Incorporation of Provisions: The contractor will include the provisions of paragraphs one through six in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Acts, the Regulations and directives issued pursuant thereto. The contractor will take action with respect to any subcontract or procurement as the Recipient or the Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the contractor becomes involved in, or is threatened with litigation by a subcontractor, or supplier because of such direction, the contractor may request the Recipient to enter into any litigation to protect the interests of the Recipient. In addition, the contractor may request the United States to enter into the litigation to protect the interests of the United States.

During the performance of this contract, the contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the "contractor") agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:

Pertinent Non-Discrimination Authorities:

- Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d et seq., 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin); and 49 CFR Part 21.
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 U.S.C. § 4601), (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Federal-Aid Highway Act of 1973, (23 U.S.C. § 324 et seq.), (prohibits discrimination on the basis of sex);
- Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794 et seq.), as amended, (prohibits discrimination on the basis of disability); and 49 CFR Part 27;
- The Age Discrimination Act of 1975, as amended, (42 U.S.C. § 6101 et seq.), (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982, (49 USC § 471, Section 47123), as amended, (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987, (PL 100-209), (Broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, The Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms "programs or activities" to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 U.S.C. §§ 12131-12189) as implemented by Department of Transportation regulations at 49 C.F.R. parts 37 and 38;
- The Federal Aviation Administration's Non-discrimination statute (49 U.S.C. § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);

- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures Non-discrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of Limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);
- Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 U.S.C. 1681 et seq).

NOT FOR BIDDING PURPOSES

Effective August 2015 letting

BUY AMERICA PROVISION

All steel and iron materials permanently incorporated in this project shall be domestic products and all manufacturing and coating processes for these materials from smelting forward in the manufacturing process must have occurred within the United States. Coating includes epoxy coating, galvanizing, painting and any other coating that protects or enhances the value of a material subject to the requirements of Buy America. The exemption of this requirement is the minimal use of foreign materials if the total cost of such material permanently incorporated in the product does not exceed one-tenth of one percent (1/10 of 1%) of the total contract cost or \$2,500.00, whichever is greater. For purposes of this paragraph, the cost is that shown to be the value of the subject products as they are delivered to the project. The contractor shall take actions and provide documentation conforming to CMM 2-28.5 to ensure compliance with this "Buy America" provision.

<http://wisconsin.gov/rdwy/cmm/cm-02-28.pdf>

Upon completion of the project certify to the engineer, in writing using department form WS4567, that all steel, iron, and coating processes for steel or iron incorporated into the contract work conform to these "Buy America" provisions. Attach a list of exemptions and their associated costs to the certification form. Department form WS4567 is available at:

<http://wisconsin.gov/hcciDocs/contracting-info/ws4567.doc>

Exhibits

ID 6414-00-25 – Parcel 132

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

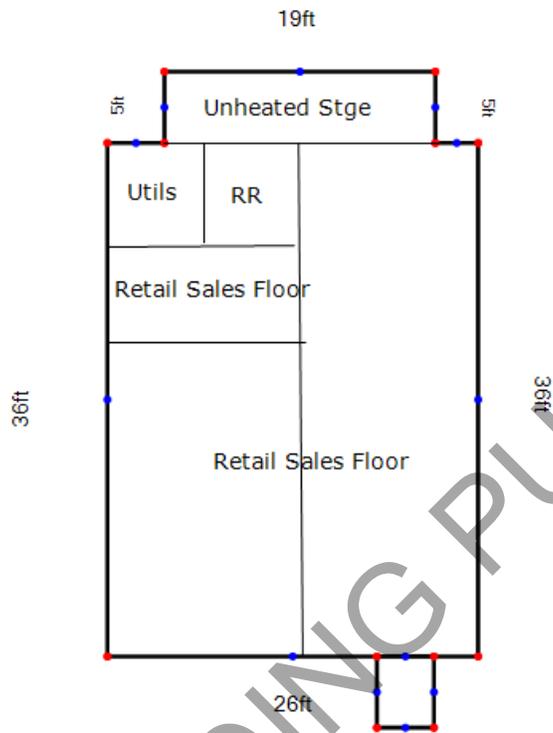
REMOVE: Parcel 132:

Single-Story (1,296 sq. ft.) commercial retail building with a partial unfinished basement and detached garage (216 sq. ft.). The commercial building consists of wood frame and concrete block foundation. The garage consists of a wood frame and concrete slab foundation. Exterior finishes consist of vinyl siding, asphalt shingles concrete handicap ramp with wood railings and chimney. Interior finishes include carpeting, linoleum tile, concrete flooring, painted drywall, drop tile ceilings and paneling. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

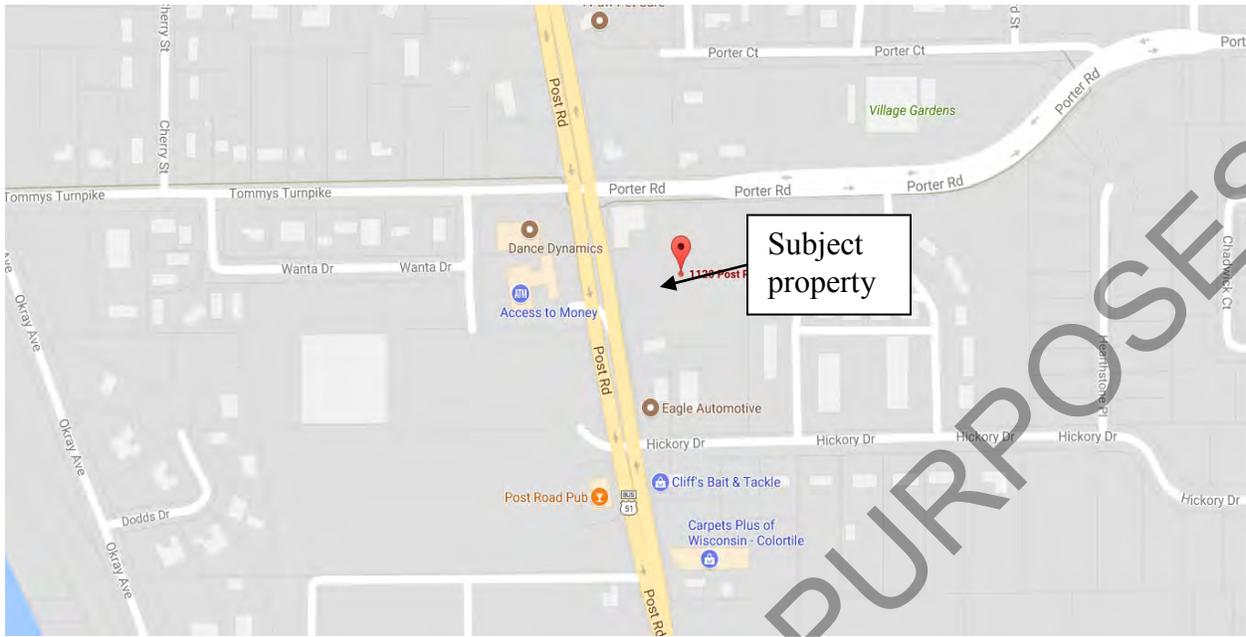
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – Following Page(s)

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.



NOT FOR BIDDING PURPOSES











Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site:

Parcel 132 Commercial Building &
Storage Shed
1120
Post Road Stevens Point,
WI 54481

Inspection Date: August 28, 2017

Report Date: September 7, 2017

NorthStar No. 170-410

Submitted By: NorthStar
Environmental Testing, LLC.

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 132
Commercial Building & Storage Shed
1120 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a commercial building & storage shed located at 1120 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Larry Pawlus of NorthStar on August 28, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior of the buildings. Electrical panel was not sampled and is assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: August 28, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Larry Pawlus
Project Manager
All-12912

NorthStar No. 170-410



Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:
1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:
1310 Mendota Street
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Tel: 608.827.6761

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September 7, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Commercial Building & Storage Shed 1120 Post Road Stevens Point, WI 54481
Survey Date:	August 28, 2017
NorthStar No:	170-410

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial property located at 1120 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	1120 Post Road Stevens Point, WI 54481	
County:	Portage	
DNR Region:	West Central	
Structure Type:	Commercial Building & Storage Shed	
Bldg Age:	1950's	
Size:	Commercial Bldg: 1,296 ft ²	Storage Shed: 308 ft ²
Floors	Commercial Bldg: 1 plus basement	Storage Shed: 1
# of Structures:	2 (Commercial Building & Storage Shed)	
Inspector:	Larry Pawlus All-12912	
Asbestos Company:	CAP-925800	
Survey Date:	August 28, 2017	
Comments:	The commercial building is a typical wood framed structure with vinyl siding; concrete block foundation; and sloped asphalt roof system. The storage shed is a wood framed structure with vinyl and sloped asphalt shingle roof systems on concrete slab.	

SAMPLING SUMMARY:

Number of Samples:	19
Number Analyzed:	19
Asbestos Materials:	Commercial Building: Window Glazing Storage Shed: Transite Paneling, 12" Brick Pattern Floor Tile, Floor Tile Adhesive
Assumed ACM:	Commercial Building: Asphalt Roofing and Electrical Panel Storage Shed: Asphalt Roofing
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	8/31/2017 – PLM (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Commercial Building			
Window Glazing	Basement	4 ft ² 4 windows	Category II non-friable/ Good condition
Electrical Panel	1 st Floor Retail	1 ft ² 1 panel	Category II non-friable/ Good (assumed)
Storage Shed			
Transite Panel	NE Room East Wall	48 ft ²	Category II non-friable/ Good condition

* **Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
Storage Shed			
12" Brick Pattern Floor Tile & Adhesive	NW Room	80 ft ²	Category I & II non- friable/good condition

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Commercial Building			
Asphalt Roofing	Roof	1,690 ft ²	Category I non-friable/ Good condition On Wood/Assumed
Storage Shed			
Asphalt Roofing	Garage Roof	400 ft ²	Category I non-friable/ Good condition On Wood/Assumed

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Commercial	
Tan Linoleum	Stone Tile Grout
Carpet Adhesive	Blown-in Insulation
Tyvek Siding	Black/Gray Asphalt Shingle
Roofing Felt Paper	Drywall/Joint Compound (composite)
Storage Shed	
1'x1' White Ceiling Tile	1'x1' Textured Ceiling Tile
Chimney Brick Mortar	Roofing Felt Paper
Gray Asphalt Shingle	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

SURVEY LIMITATIONS: (continued)

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Larry Pawlus
Project Manager

attach: Asbestos Sample Analysis Data
Certification

NOT FOR BIDDING PURPOSES

**1120 Post Road
Stevens Point, WI**

August 2017

NOT FOR BIDDING PURPOSES



Central Wisconsin Office:
 817 Oak Ridge Rd
 Mosinee, WI 54455
 Tel: 715.693.6112
 Fax: 715.693.1225

Fox Cities Office:
 1835 E. Edgewood Drive
 Suite 10542
 Appleton, WI 54913
 Tel: 920.422.4888

Madison Office:
 1310 Mendota Street
 Suite 121
 Madison, WI 53714
 Tel: 608.827.6761

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	1120 Post Road Plover, WI	DATE COLLECTED:	8/28/2017
WORK AREA:	Pre-Demolition	TECH:	Larry Pawlus

Sample ID	Room / Area Info	Sample Info	Asbestos Content
Commercial Building			
1120-1	Basement (basement windows)	Window Glazing	2% Chrysotile
1120-2	Restroom	Tan Linoleum	None Detected
1120-3	Retail By North Door - Center	Stone Tile Grout	None Detected
1120-4	Retail NE Corner	Carpet Adhesive	None Detected
1120-5	Attic	Blown-in Insulation	None Detected
1120-6	Exterior North Side	Tyvek Siding Paper	None Detected
1120-7	Roof	Black/Gray Asphalt Shingle	None Detected
1120-8	Roof	Roofing Felt Paper	None Detected
1120-9	East Fitting Room	Drywall/Joint Compound (composite)	None Detected
1120-10	West Fitting Room	Drywall/Joint Compound (composite)	None Detected
1120-11	Retail Center by Stairwell	Drywall/Joint Compound (composite)	None Detected
Storage Shed			
1120-12	NE Room East Wall	Transite Paneling	15% Chrysotile
1120-13	NW Room	12" Brick Pattern Floor Tile	3% Chrysotile
1120-14	NW Room	Floor Tile Adhesive	5% Chrysotile
1120-15	NW Room	1'x1' White Ceiling Tile	None Detected
1120-16	NE Room	1'x1' Textured Ceiling Tile	None Detected
1120-17	South Room	Chimney Brick Mortar	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	8/31/17	Page:	1 of 2
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NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



Inspector Certification

Certificate No: SLW02241707IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018



This diploma is awarded to
Larry L. Pawlus

for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,
conducted by

COPY

Lake States Environmental, Ltd.

at
1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017

Bob Rogalla - Training Course Manager

4868

ASBESTOS INSPECTOR

Issued By
STATE OF WISCONSIN
Dept. of Health Services

Larry L. Pawlus
W13665 County Road G
Gilman WI 54433-9347

190 lbs	6' 01"
Exp: 03/18/2018	04/04/1974
Male	

Training due by: 03/18/2018

Exhibits

ID 6414-00-25 – Parcel 138

Removal, Grading, Backfill

Location Map

Photo

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 138:

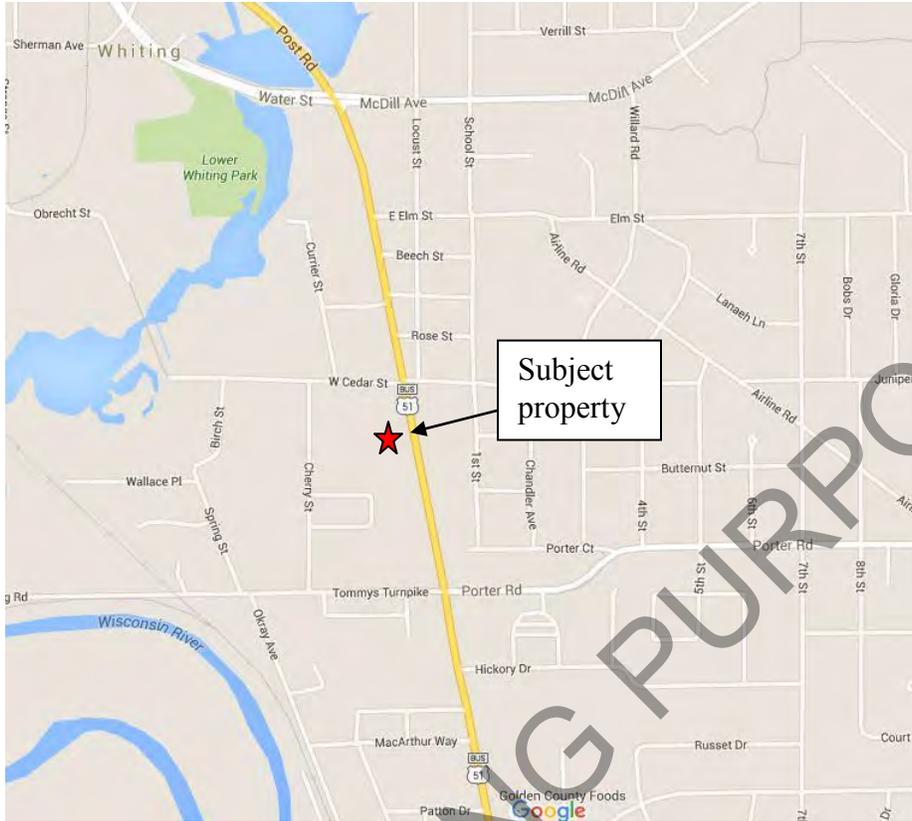
Double sided pylon “Hagens” business sign with electrical.

Disconnect electrical and completely remove and dispose of business sign and foundation.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

NOT FOR BIDDING PURPOSES



Exhibits

ID 6414-00-25 – Parcel 144

Removal, Grading, Backfill

Location Map

Photo

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 144:

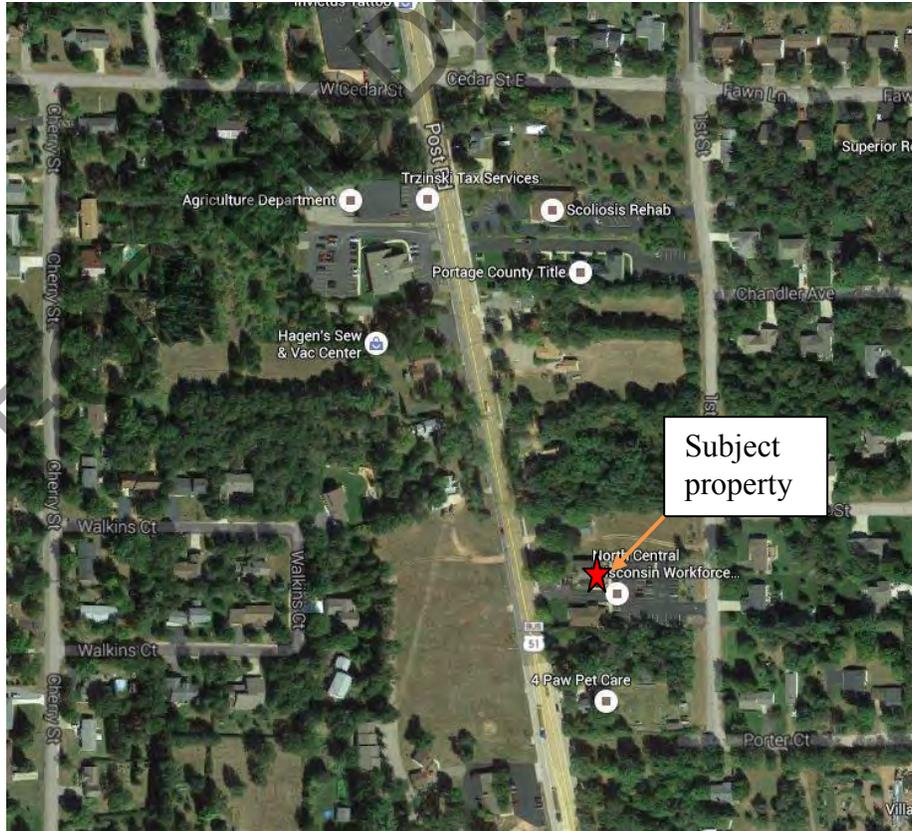
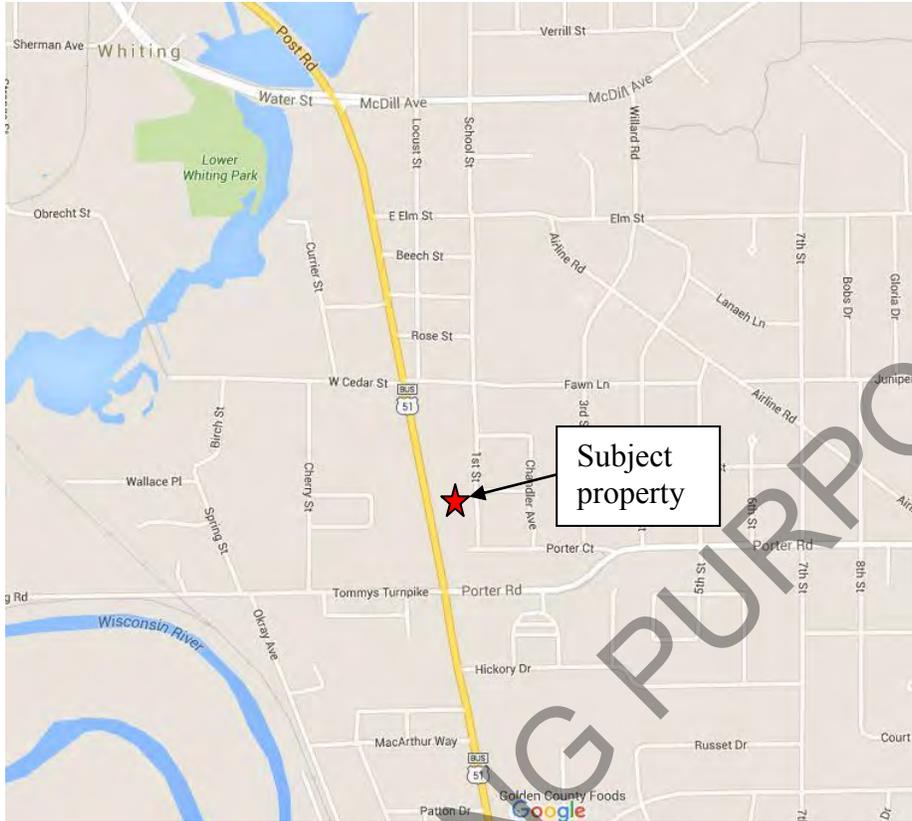
Concrete Business sign with two lights and electrical.

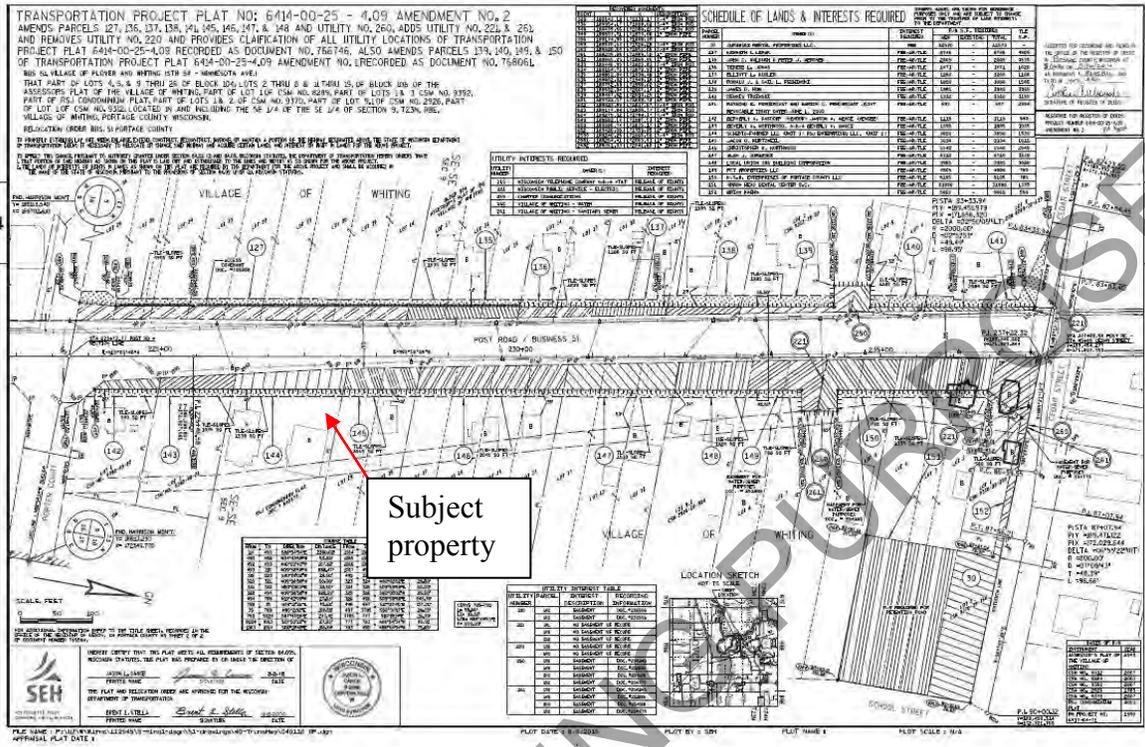
Disconnect electrical and completely remove and dispose of business sign, lights and foundation.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

NOT FOR BIDDING PURPOSES





ID 6414-00-25, Parcel 144

Exhibits

ID 6414-00-25 – Parcel 147

Removal, Grading, Backfill

Location Map

Photo

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 147:

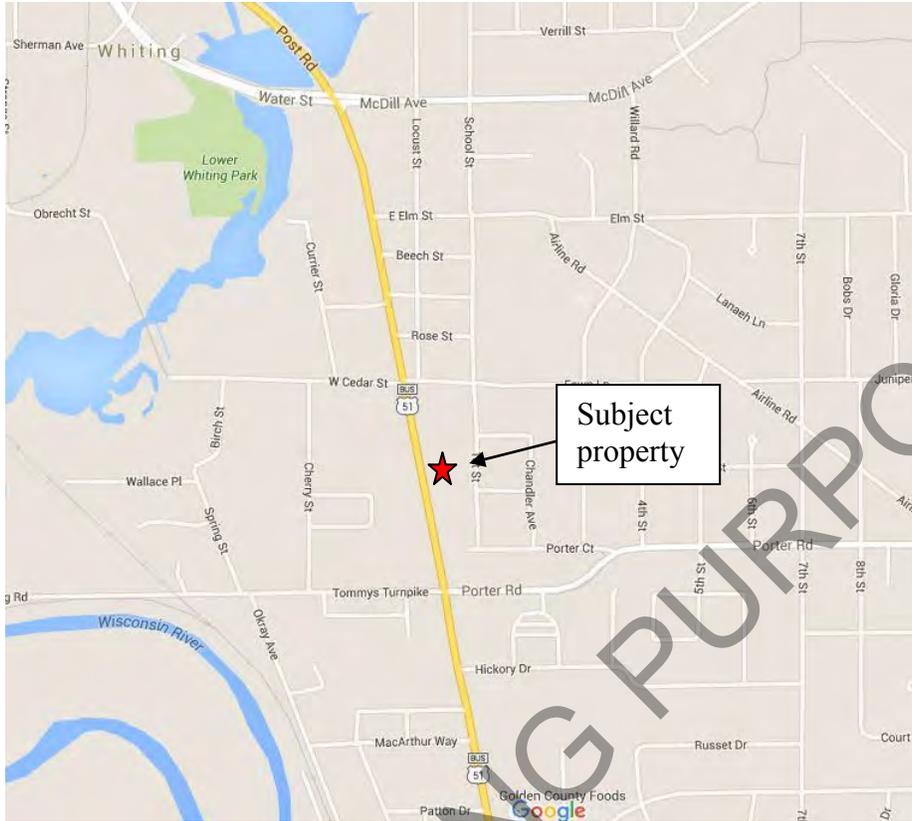
Wooden pylon advertising sign with lighting and electrical.

Disconnect electrical and completely remove and dispose of business sign, lighting and foundation.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

NOT FOR BIDDING PURPOSES



Exhibits

ID 6414-00-25 – Parcel 151

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 151:

Two-Story (796 sq. ft.) single family home converted into a dental office with full unfinished basement, 2-car detached garage (740 sq. ft.) and storage building (648 sq. ft.). The single family home consists of wood frame and wood and stone masonry foundation. The garage consists of a wood frame, concrete slab foundation and $\frac{3}{4}$ wall. The storage building consists of wood frame and concrete slab foundation. Exterior finishes consist of wood siding, asphalt and vinyl shingles, metal roof and concrete handicap ramp with wood railings. Interior finishes include carpeting, linoleum tile, wood flooring, painted drywall, wood panels and drop tile ceilings. Concrete parking lot and walkway, asphalt driveway, handicap sign and post, business sign and sign base. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

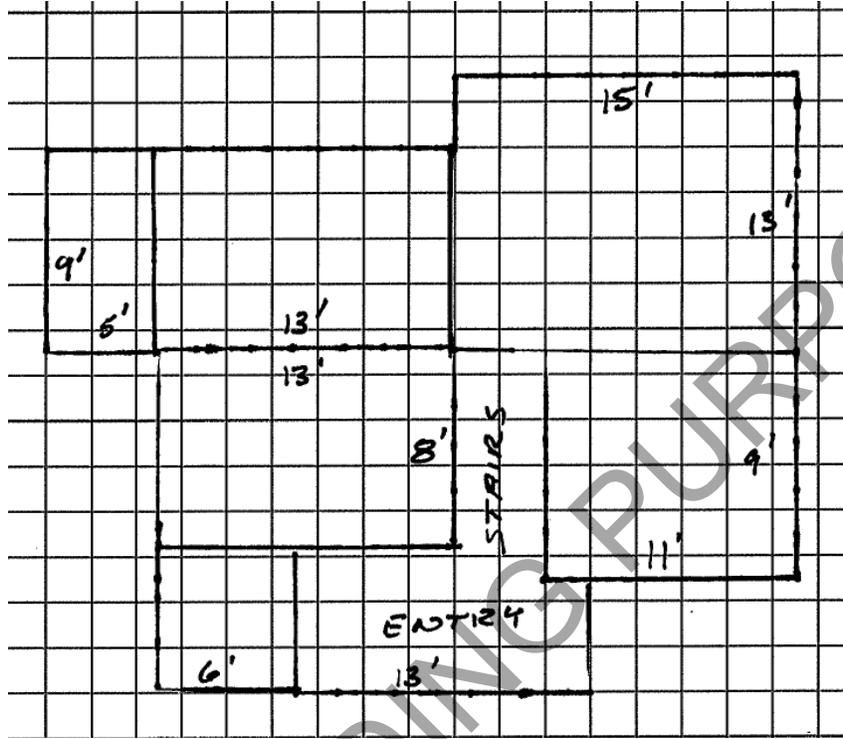
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – Following Page(s)

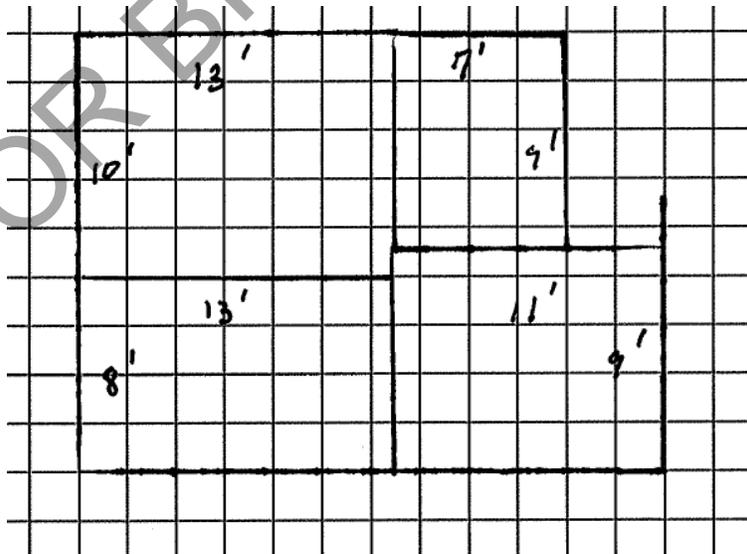
BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

Building Sketches

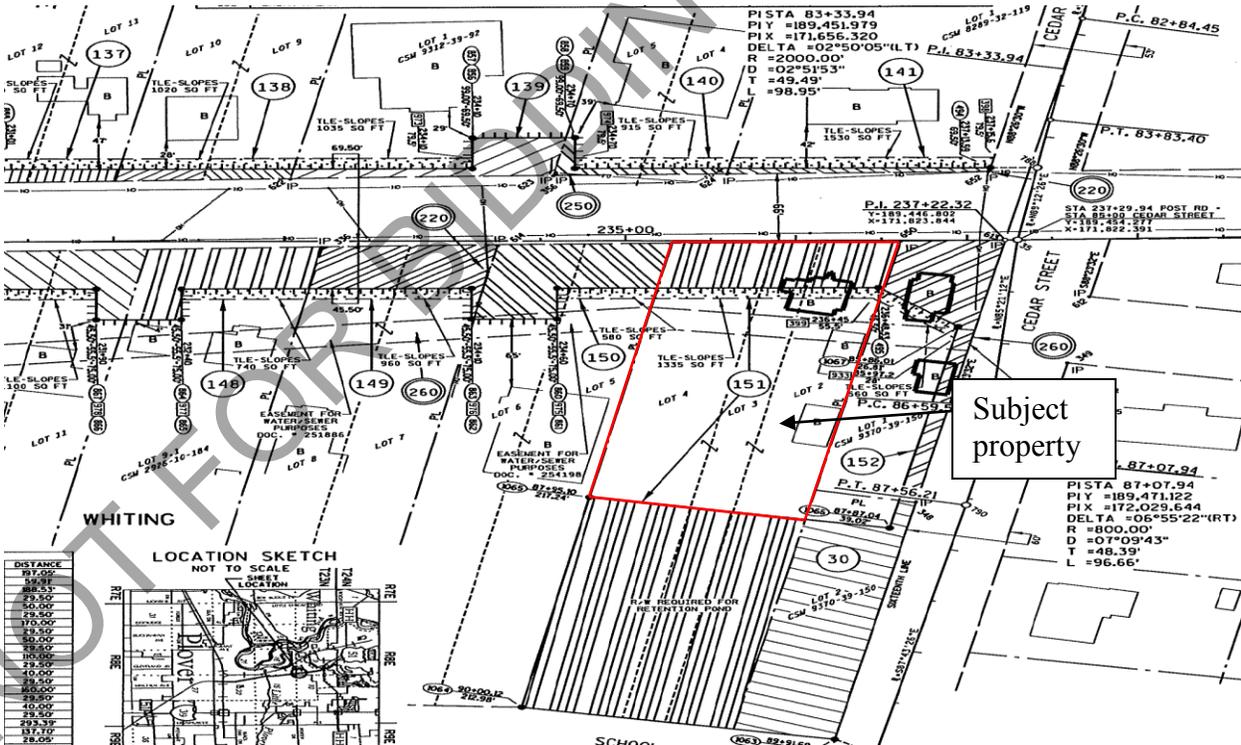
First Floor



Second Floor













Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site:

Parcel 151 Residential/Commercial Building,
Garage & Shed
2906
Post Road Stevens
Point, WI 54481

Inspection Date: July 11, 2017

Report Date: July 28, 2017

NorthStar No. 170-410

Submitted By: NorthStar
Environmental Testing, LLC.

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 151
Residential/Commercial Building, Garage, & Shed
2906 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a residential/commercial building, garage, & shed located at 2906 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on July 11, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior of the building. Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: July 11, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-410



Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:
1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:
1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

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Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

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Suite 121
Madison, WI 53714
Tel: 608.827.6761

July 28, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Residential/Commercial Building, Garage, & Shed 2906 Post Road Stevens Point, WI 54481
Survey Date:	July 11, 2017
NorthStar No:	170-410

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a residential property located at 2906 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2906 Post Road Stevens Point, WI 54481		
County:	Portage		
DNR Region:	West Central		
Structure Type:	Residential/Commercial Building		
Bldg Age:	1950's		
Size:	House: 1,440 ft ²	Garage: 1,050 ft ²	Shed: 735 ft ²
Floors	House: 2 plus basement	Garage & Shed: 1	
# of Structures:	3 (House, Garage, Shed)		
Inspector:	Jamie Brzezinski All-181559		
Asbestos Company:	CAP-925800		
Survey Date:	July 11, 2017		
Comments:	The house is a typical wood framed structure with vinyl/asphalt/wood siding; concrete block foundation; and sloped asphalt roof system. The garage is a wood framed structure with vinyl/asphalt siding and sloped asphalt shingle roof systems on concrete slab. The shed is a wood framed structure with asphalt siding, metal roofing on bare soil.		

SAMPLING SUMMARY:

Number of Samples:	28
Number Analyzed:	28
Asbestos Materials:	Shed Window Glazing (Type I), House Window Glazing (Types IV & V), Duct Wrap Insulation, Floor Tile (Tan), Wall Adhesive – Black
Assumed ACM:	Shed Window Glazing, Asphalt Roofing/Siding and Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	7/18/2017 – PLM (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Electrical Panels	Throughout	Not Quantified	Category II non-friable/ good (assumed)
Window Glazing (Type I)	Shed Exterior	7 each or 7 ft ²	Category II non-friable/ Good condition
Window Glazing (Piled Up Sashes)	Shed Interior – North Lean-to Area	10 each or 10 ft ²	Category II non-friable/ Assumed
Window Glazing (Type IV – Rear Porch)	House Exterior	4 each or 4 ft ²	Category II non-friable/ Good condition
Window Glazing (Type V – Double Hung)	House Exterior	7 each or 7 ft ²	Category II non-friable/ Good condition
Duct Wrap Insulation	Throughout	30 ft ²	Friable/ Good Condition/ On Boots and Ductwork

* **Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Floor Tile – Tan (non-asbestos adhesive)	Second Floor Southwest Bedroom	180 ft ²	Category I non-friable/ On Wood/ Under Carpet
Wall Adhesive – Black	First Floor Bathroom	63 ft ²	Category II non-friable/ On Fiberboard/ Good condition
Asphalt Siding & Roofing	House Roof & Rear Porch	1,940 ft ²	Category I non-friable/ On Wood/ Good condition/ Assumed
Asphalt Siding & Roofing	Garage Roof	2,050 ft ²	Category I non-friable/ On Wood/ Good condition/ Assumed
Asphalt Siding	Shed Roof	868 ft ²	Category I non-friable/ On Wood/ Good condition/ Assumed
Exterior Window Caulking	House Exterior	19 each or 19 ft ²	Category I non-friable/ On Wood/ Good condition/ Assumed

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
House	
Vinyl Sheet Flooring (3 Types)	Carpet Adhesive – Tan
Floor Tile – Brown	Flooring Underlayment – Black
Floor Tile Adhesive – Tan	Drywall/Joint Compound (Composite)
Wall Texture	Ceiling Panel
Fiberboard Wall Panel	Wall Adhesive – Tan
Blown-In Attic Insulation	Brick Mortar
Vapor Barrier	
Garage	
Window Glazing (Type III)	
Shed	
Storm Sash Window Glazing (Type II)	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447, and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACBM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACBM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

**2906 Post Road
Stevens Point, WI**

July 2017

NOT FOR BIDDING PURPOSES



Central Wisconsin Office:
 817 Oak Ridge Rd
 Mosinee, WI 54455
 Tel: 715.693.6112
 Fax: 715.693.1225

Fox Cities Office:
 1835 E. Edgewood Drive
 Suite 10542
 Appleton, WI 54913
 Tel: 920.422.4888

Madison Office:
 1310 Mendota Street
 Suite 121
 Madison, WI 53714
 Tel: 608.827.6761

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	2906 Post Road Stevens Point	DATE COLLECTED:	7/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2906-1	Shed Exterior South	Window Glazing (Type I)	Chrysotile 2%
2906-2	Shed Exterior South	Storm Sash Window Glazing (Type II)	None Detected
2906-3	Garage Exterior South	Window Glazing (Type III)	None Detected
2906-4	House Exterior Rear Porch East	Window Glazing (Type IV)	Chrysotile <1%
2906-5	House Exterior Second Story East	Double Hung Window Glazing (Type V)	Chrysotile 2%
2906-6	Kitchen	Duct Wrap Insulation	Chrysotile 65%
2906-7	Second Floor West Bedroom	Duct Wrap Insulation	Chrysotile 65%
2906-8	Bathroom	Vinyl Sheet Flooring – White Square	None Detected
2906-9	Second Floor Northeast Bedroom	Vinyl Sheet Flooring – White	None Detected
2906-10	Second Floor Southwest Bedroom Closet	Vinyl Sheet Flooring – Blue	None Detected
2906-11	Rear Porch	Carpet Adhesive – Tan (on conc)	None Detected
2906-12	Kitchen	Carpet Adhesive – Tan (on wood)	None Detected
2906-13	Bathroom	Floor Tile – Brown	None Detected
2906-14	Bathroom	Black Flooring Underlayment (on wood)	None Detected
2906-15	Bathroom	Flooring Adhesive – Tan	None Detected
2906-16	Second Floor Southwest Bedroom	Floor Tile – Tan	Chrysotile 2%
2906-17	Second Floor Southwest Bedroom	Floor Tile Adhesive – Tan (on wood)	None Detected
2906-18	Waiting Room	Drywall/Joint Compound (Composite)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	7/18/17	Page:	1 of 2
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	2906 Post Road Stevens Point	DATE COLLECTED:	7/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2906-19	Waiting Room	Wall Texture (on drywall)	None Detected
2906-20	Reception	Wall Texture (on drywall)	None Detected
2906-21	Kitchen	Wall Texture (on drywall)	None Detected
2906-22	Bathroom	Ceiling Panel	None Detected
2906-23	Bathroom	Wall Panel Fiberboard	None Detected
2906-24	Bathroom	Wall Adhesive – Black (on fiberboard)	Chrysotile 3%
2906-25	Kitchen	Wall Adhesive – Tan (on drywall)	None Detected
2906-26	Attic	Blown-in Attic Insulation	None Detected
2906-27	Office	Brick Mortar	None Detected
2906-28	House Exterior North	Vapor Barrier	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	7/18/17	Page:	2 of 2
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NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
 Issued By
 STATE OF WISCONSIN
 Dept. of Health Services

Jamie Lynn Brzezinski
 3342 Bentley Rd
 Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
 Issue Date: February 27, 2017
 Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
 REFRESHER TRAINING COURSE**

*This training course complies with the requirements of TSCA Title II
 and is accredited by the State of Wisconsin, Department of Health Services,
 under chapter DHS 159, Wis. Admin. Code,*

conducted by

Lake States Environmental, Ltd.

at

1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017

Lake States Environmental, Ltd
 P. O. Box 645, Rice Lake, WI 54868
 (800) 254-9811


 Bob Rogalla - Training Course Manager

Exhibits

ID 6414-00-25 – Parcel 152

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 152:

Single story (532 sq. ft.) 2-car detached garage. The garage consists of wood frame and concrete slab foundation. Exterior finishes consist of asphalt siding and asphalt shingle roof. Interior finishes include fiberboard and brick mortar. Concrete driveway, walkway and chest freezer. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

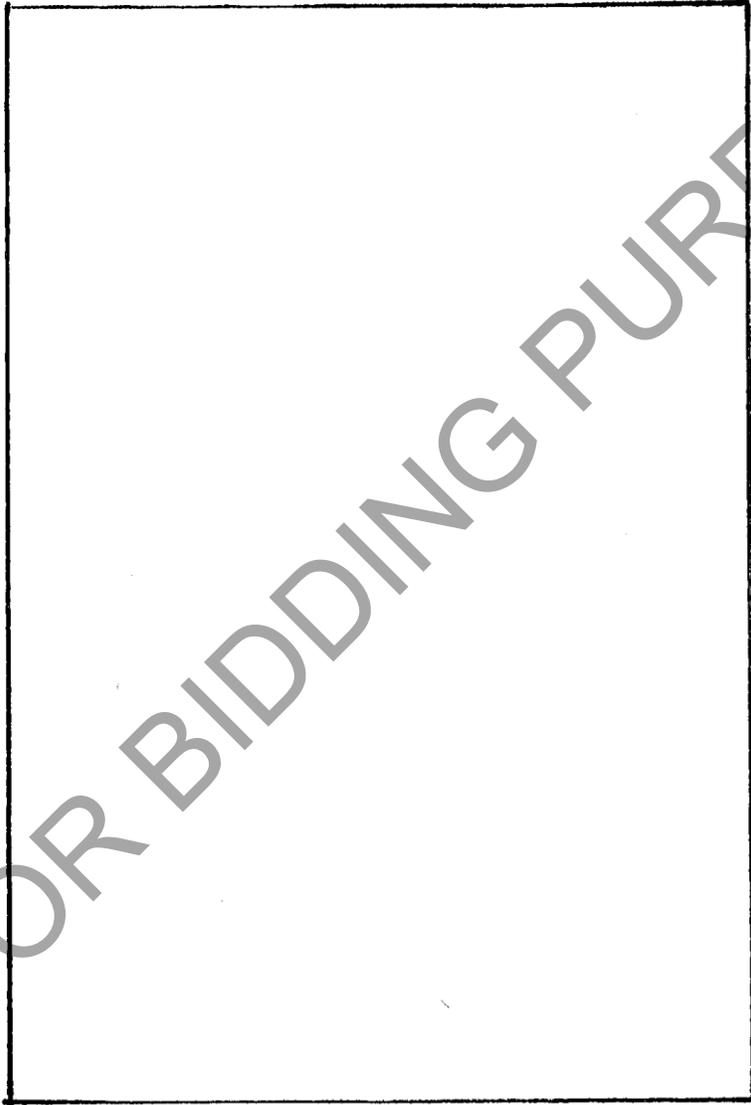
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

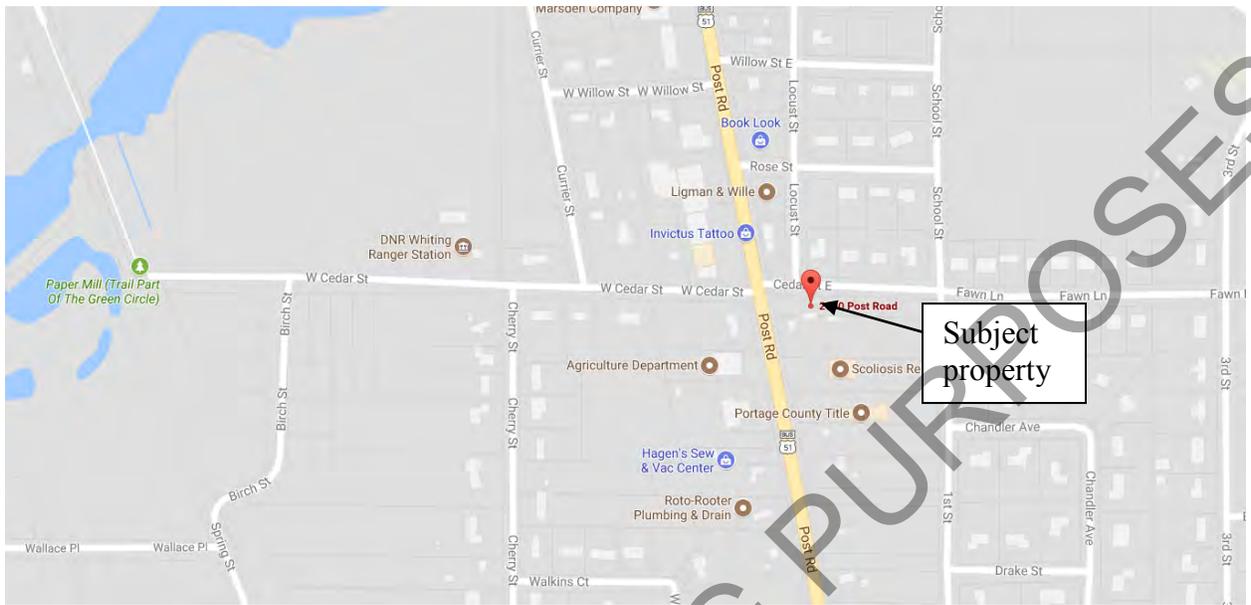
BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank-Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

GARAGE FLOOR PLAN

19' x 28'



NOT FOR BIDDING PURPOSES





NOT FOR BIDDING PURPOSES

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Mosinee, WI 54455
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Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

S

Site: Parcel
152
Commercial
Building 2900
Post Road
Stevens Point, WI 54481

Inspection Date: July 11, 2017
Report Date: July 28, 2017

NorthStar No. 170-410

Submitted By: NorthStar
Environmental Testing, LLC.



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
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Appleton, WI 54913
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1310 Mendota Street
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July 28, 2017

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 152
Commercial Building
2900 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a commercial building located at 2900 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on July 11, 2017.

No asbestos containing building materials that will need to be removed prior to demolition were identified on the exterior/interior of the building. **Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition.** Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: July 11, 2017

NorthStar Environmental Testing, LLC.

A handwritten signature in black ink, appearing to read 'David Barrett', is written over a horizontal line.

David Barrett
Senior Project Manager

A handwritten signature in black ink, appearing to read 'Jamie Brzezinski', is written over a horizontal line.

Jamie Brzezinski
Project Technician
All-181559

NorthStar No. 170-410



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Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

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Asbestos Sample Log-In.....	1 Page
NorthStar Certifications.....	2 Pages

July 28, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Parcel 152 Commercial Building 2900 Post Road Stevens Point, WI 54481
Survey Date:	July 11, 2017
NorthStar No:	170-410

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial property located at 2900 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2900 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Commercial Building
Bldg Age:	1960's
Size:	693 ft ²
Floors	1
# of Structures:	1
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	July 11, 2017
Comments:	The commercial building has asphalt siding; on concrete slab; wood frame structure; asphalt shingle roof system.

SAMPLING SUMMARY:

Number of Samples:	4
Number Analyzed:	4
Asbestos Materials:	None
Assumed ACM:	Asphalt Roofing and Siding, Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	7/18/2017 – PLM (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Electrical Panels	Throughout	Not Quantified	Category II non-friable/good (assumed)

* **Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			.

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing	Roof	700 ft ²	Category I non-friable/ Good Condition/ Assumed
Asphalt Siding	Exterior Walls	756 ft ²	Category I non-friable/ Good Condition/ Assumed

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Window Glazing	Brick Mortar
Fiberboard (2 Types)	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447, and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACBM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACBM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Technician

attach: Asbestos Sample Analysis Data
Diagrams
Certification

**2900 Post Road
Stevens Point, WI**

July 2017

NOT FOR BIDDING PURPOSES

NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



Inspector Certification

ASBESTOS INSPECTOR
 Issued By
 STATE OF WISCONSIN
 Dept. of Health Services

Jamie Lynn Brzezinski
 3342 Bentley Rd
 Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



COPY

Certificate No: 5LW02241705IR
 Issue Date: February 27, 2017
 Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
 REFRESHER TRAINING COURSE**

*This training course complies with the requirements of TSCA Title II
 and is accredited by the State of Wisconsin, Department of Health Services,
 under chapter DHS 159, Wis. Admin. Code,*

conducted by

Lake States Environmental, Ltd.

at

**1616 Crestview Dr, Hudson, WI on February 24, 2017
 Examination Date: February 24, 2017**

Lake States Environmental, Ltd
 P. O. Box 645, Rice Lake, WI 54868
 (800) 254-9811



Bob Rogalla - Training Course Manager

Exhibits

ID 6414-00-25 – Parcel 164

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 164:

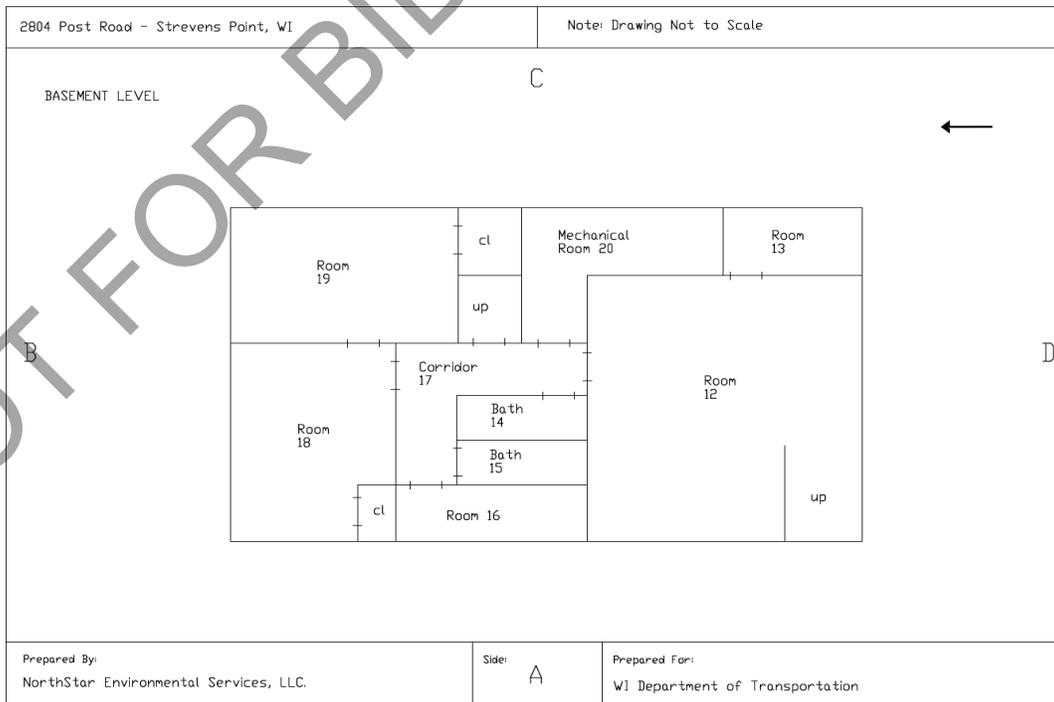
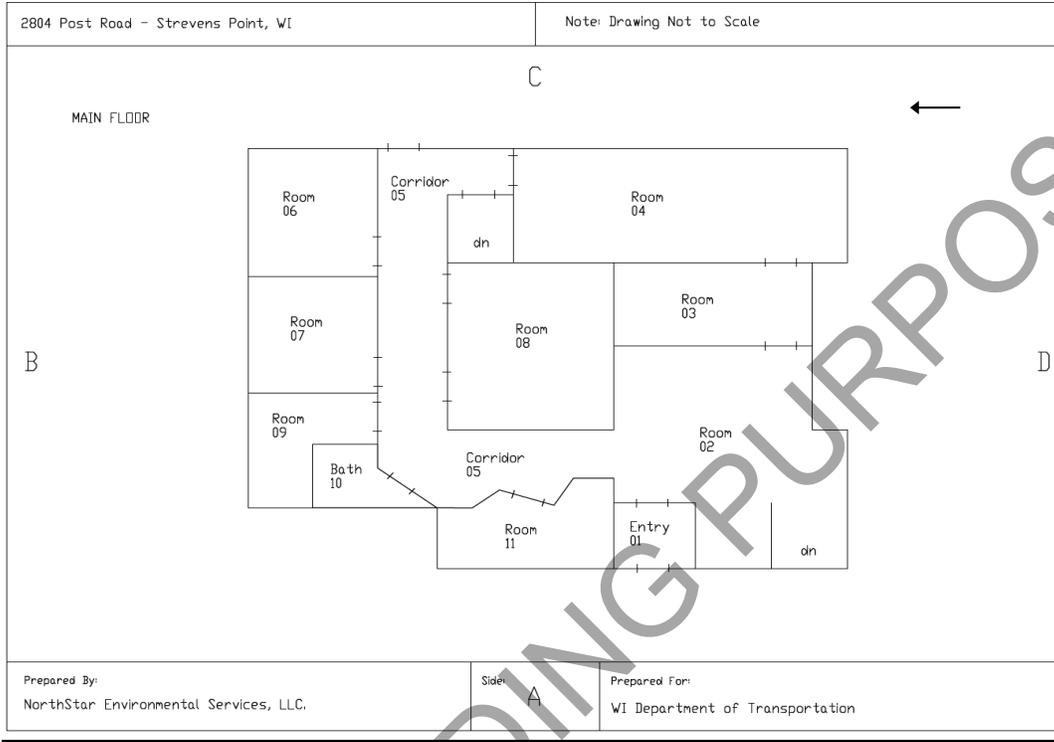
One Story 2,246 SF commercial building. The subject includes the following: Wood frame construction with brick veneer and stucco siding. The subject has a full basement with concrete block walls. The roof is flat with one pitched area. The interior floors are covered with a mix of carpeting, hardwood and ceramic tile. The walls consist of painted drywall and painted concrete block in the basement. The building has three gas furnaces and three central air conditioning unit with full basement. Wood frame construction brick frame veneer exterior. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

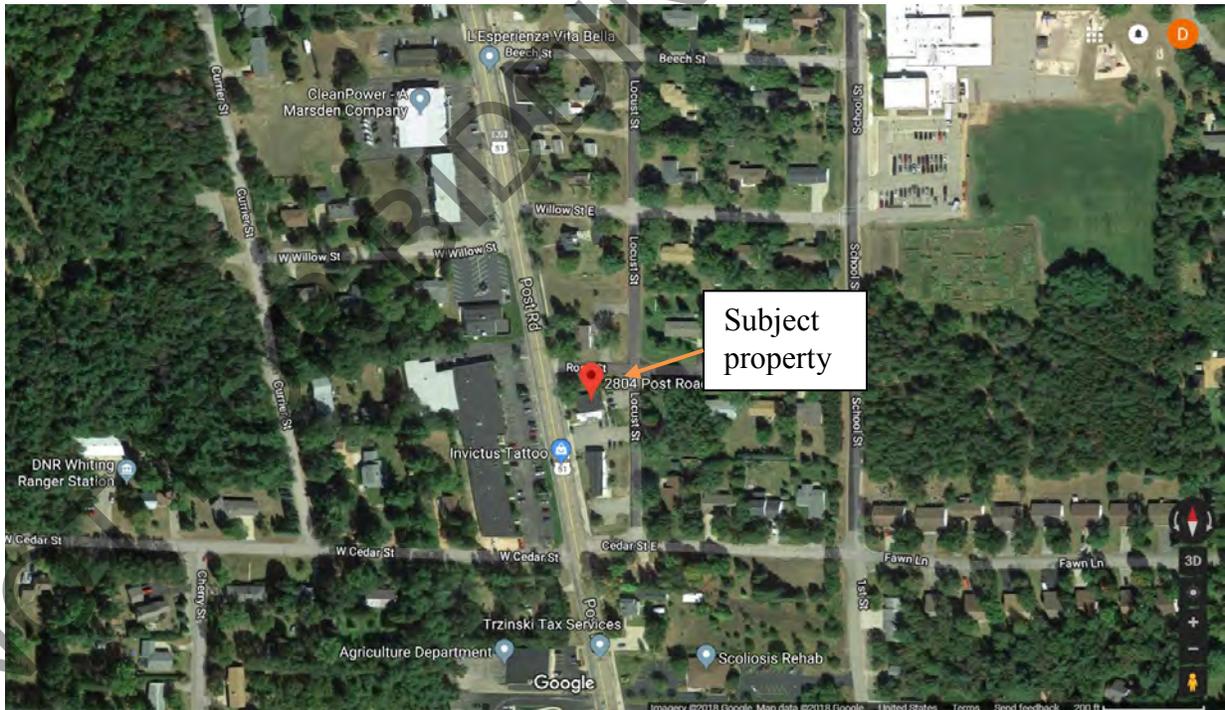
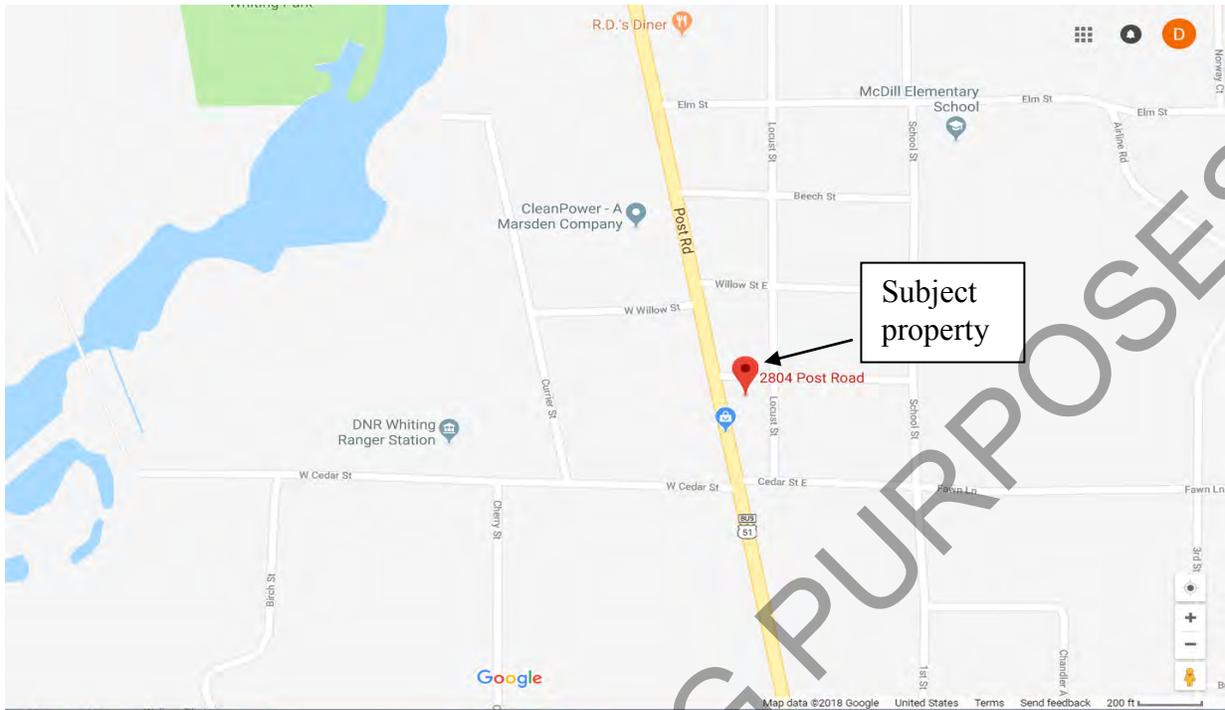
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

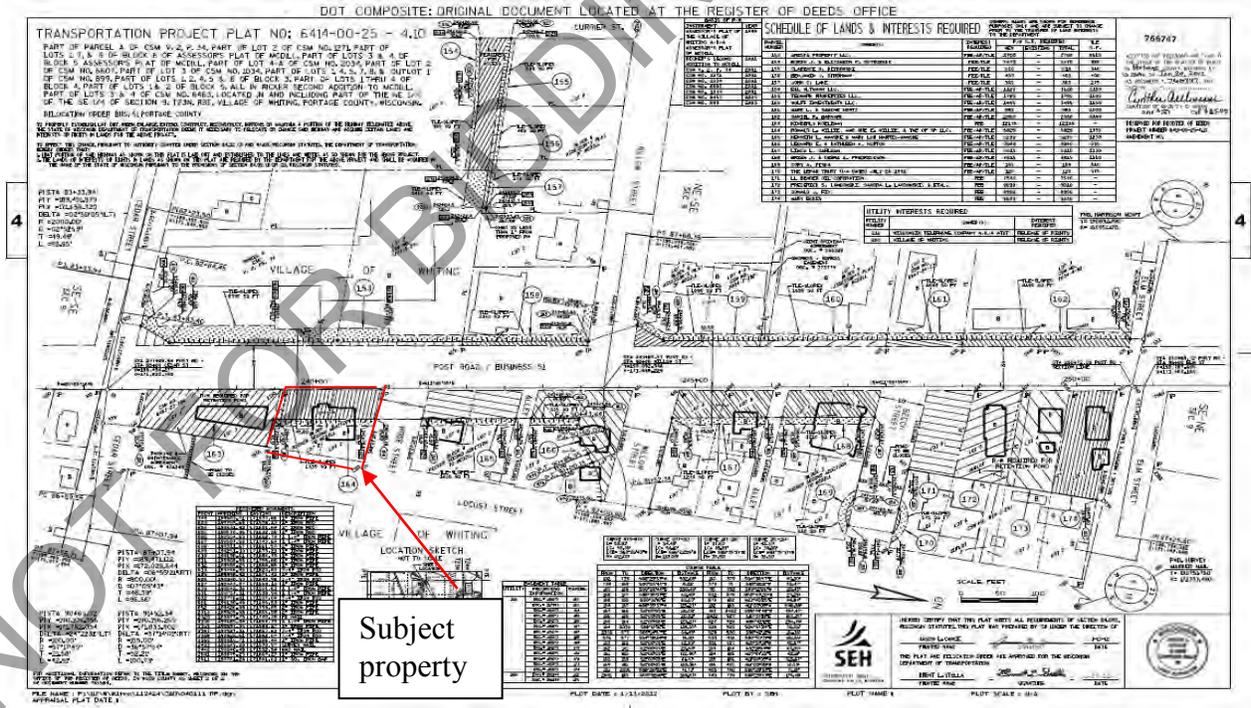
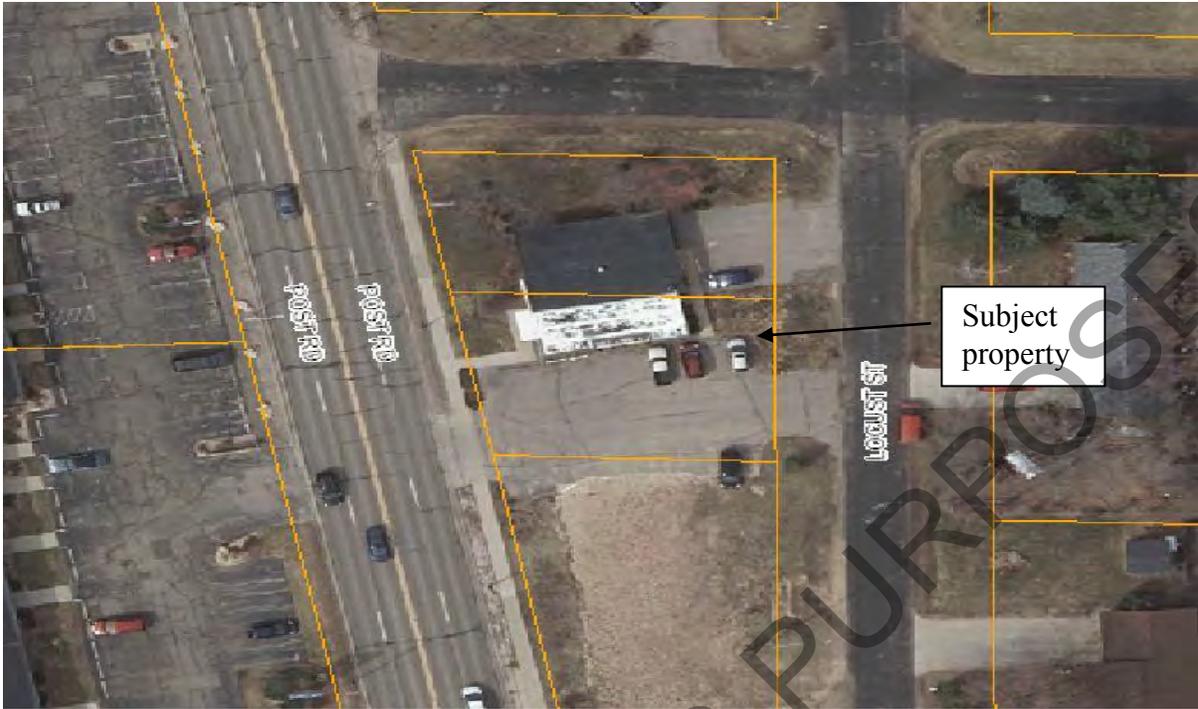
Floor Plan – Following Page(s)

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

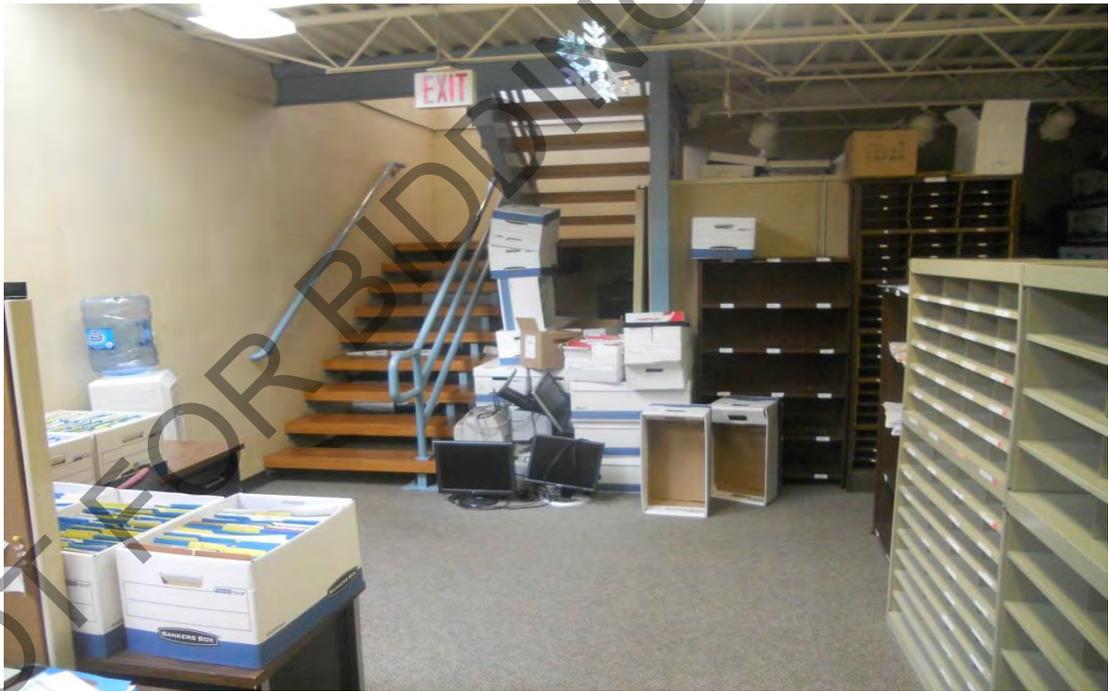
FLOOR PLANS











Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

S

Site: Parcel
164
Commercial
Building 2804
Post Road
Stevens Point, WI 54481

Inspection Date: December 11, 2017

Report Date: December 20, 2017

NorthStar No. 170-802

Submitted By: NorthStar
Environmental Testing, LLC.

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 164
Commercial Building
2804 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a commercial building located at 2804 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on December 11, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the exterior/interior of the building. Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: December 11, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-802



Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

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1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
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December 20, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Commercial Building Parcel 164 2804 Post Road Stevens Point, WI 54481
Survey Date:	December 11, 2017
NorthStar No:	170-802

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial property located at 2804 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2804 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Commercial Building
Bldg Age:	Construction Date circa 1970
Size:	2,246 ft ² (footprint)
Floors	1 plus basement
# of Structures:	1
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	December 11, 2017
Comments:	The building is a typical wood framed structure with brick, wood, and stucco exterior; fiberglass batt and foam sheet insulation; concrete block foundation; and built-up flat roof system.

SAMPLING SUMMARY:

Number of Samples:	61 PLM Layers & 2 Point Counts
Number Analyzed:	61 PLM Layers & 2 Point Counts
Asbestos Materials:	Wall Texture – Type II, Ceramic Baseboard Tile Adhesive – Tan, Flooring Adhesive – Black, & Wall Adhesive – Black
Assumed ACM:	Built-up Roofing & Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	12/15/2017 (PLM) & 12/19/2017 (Point Count)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
*Electrical Panels	Basement Mechanical Room 20	2 each or 4 ft ²	Category II Non-Friable/ Good Condition (assumed)
Wall Texture – Type II	Basement Bathroom 14	208 ft ²	Friable/ Good Condition/ On Drywall
	Basement Bathroom 15	224 ft ²	

* Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
Ceramic Tile Baseboard Adhesive – Tan	Basement Bathroom 14	3 ft ²	Category II Non-Friable/ Good Condition/ On Concrete Block
	Basement Bathroom 15	3 ft ²	
Flooring Adhesive – Black	Basement Room 16	90 ft ²	Category II Non-Friable/ Good Condition/ On Concrete
	Basement Corridor 17	122 ft ²	
Wall Adhesive – Black	Basement Room 18	328 ft ²	Category II Non-Friable/ Good Condition/ On Concrete Block & Wood Wall Paneling
	Basement Room 19	232 ft ²	

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Built-up Roofing	Exterior Roof	2,246 ft ²	Category I Non-Friable/ Good Condition (assumed) On Wood
Flooring Adhesive – Black	Corridor 05	188 ft ²	Category II Non-Friable/ Good Condition (assumed) On Wood
	Room 09	192 ft ²	
	Bathroom 10	42 ft ²	
Ceramic Tile Baseboard Adhesive – Tan	Basement Bathroom 14	7 ft ²	Category II Non-Friable/ Good Condition/ On Drywall
	Basement Bathroom 15	7 ft ²	

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Ceiling Tile (5 Types)	Drywall/Joint Compound (Composite)
Wall Texture – Type I	Wall Paper Adhesive
Stucco (2 Types)	Brick Mortar
Stone Mortar	Glass Block Window Mortar
Ceramic Floor Tile Grout – Gray	Ceramic Baseboard Tile Grout (2 Types)
Wall Coating – Black	Ceramic Baseboard Tile Adhesive – Tan
Flooring Adhesive – Tan	Carpet Adhesive (2 Types)
Floor Leveler – White	4” Vinyl Baseboard (2 Types)
Baseboard Adhesive – Tan	Vinyl Sheet Flooring (2 Types)
12” Mottled Floor Tile – Gray	Floor Tile Adhesive – Tan
Wall Insulation Board	Sink Undercoating – White
Seam Caulk (3 Types)	Door Caulk – Gray/White
Window Caulk (2 Types)	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACBM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACBM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

NOT FOR BIDDING PURPOSES

WI Department of Transportation

**Parcel 164
2804 Post Road
Stevens Point, WI**

December 2017

NOT FOR BIDDING PURPOSES

CLIENT:	WIDOT	NORTHSTAR NO.	170-802
LOCATION:	2804 Post Road Stevens Point	DATE COLLECTED:	12/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2804-1	Room 02	2'x2' Textured Ceiling Tile	None Detected
2804-2	Room 03	2'x2' Textured Ceiling Tile	None Detected
2804-3	Room 04	2'x2' Pinhole Crater Ceiling Tile	None Detected
2804-4	Corridor 05	2'x2' Pinhole Crater Ceiling Tile	None Detected
2804-5	Room 07	2'x4' Pinhole Fissured Ceiling Tile	None Detected
2804-6	Room 18	2'x4' Pinhole Fissured Ceiling Tile	None Detected
2804-7	Room 08	2'x2' Pinhole Textured Ceiling Tile	None Detected
2804-8	Bathroom 10	2'x2' Sheetrock Ceiling Tile	None Detected
2804-9	Room 02	Drywall/Joint Compound (Composite)	None Detected
2804-10	Room 12	Drywall/Joint Compound (Composite)	None Detected
2804-11	Room 04	Wall Texture I (on drywall)	None Detected
2804-12	Room 12	Wall Texture I (on concrete)	None Detected
2804-13	Room 12	Wall Texture I (on drywall)	None Detected
2804-14	Bathroom 14	Wall Texture II (on drywall)	Chrysotile 2% Point Count 2.5%
2804-15	Bathroom 15	Wall Texture II (on drywall)	Chrysotile 2% Point Count 2.3%
2804-16	Room 17	Wall Texture II (on drywall)	None Detected
2804-17	Room 02	Wall Paper Adhesive (on drywall)	None Detected
2804-18	Room 08	Wall Paper Adhesive (on drywall)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	12/15/17(reported) 12/19/17 (point count)	Page:	1 of 4
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WIDOT	NORTHSTAR NO.	170-802
LOCATION:	2804 Post Road Stevens Point	DATE COLLECTED:	12/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2804-19	Exterior West	Stucco	None Detected
2804-20	Exterior West	Stucco	None Detected
2804-21	Exterior West	Stucco	None Detected
2804-22	Room 13	Stucco (on concrete)	None Detected
2804-23	Room 13	Stucco (on concrete)	None Detected
2804-24	Room 13	Stucco (on concrete)	None Detected
2804-25	Exterior East	Brick Mortar	None Detected
2804-26	Exterior West	Stone Mortar	None Detected
2804-27	Room 19	Glass Block Window Mortar	None Detected
2804-28	Room 14	Ceramic Floor Tile Grout – Gray	None Detected
2804-29	Room 14	Ceramic Baseboard Tile Grout – Gray	None Detected
2804-30	Bathroom 10	Ceramic Baseboard Tile Grout – White	None Detected
2804-31	Mechanical 20	Wall Coating – Black (on concrete block)	None Detected
2804-32	Bathroom 10	Ceramic Baseboard Tile Adhesive – Tan	None Detected
2804-33	Bathroom 14	Ceramic Baseboard Tile Adhesive – Brown	Chrysotile 3%
2804-34	Room 02	Flooring Adhesive – Tan (on concrete)	None Detected
2804-35	Room 12	Carpet Adhesive – Tan (on concrete)	None Detected
2804-36	Room 16	Flooring Adhesive – Black (on concrete)	Chrysotile 5%

Lab Info:	CEI Labs, Inc.	Date Analyzed:	12/15/17(reported)	Page:	2 of 4
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CLIENT:	WIDOT	NORTHSTAR NO.	170-802
LOCATION:	2804 Post Road Stevens Point	DATE COLLECTED:	12/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2804-37	Corridor 17	Flooring Adhesive – Black (on concrete)	Chrysotile 5%
2804-38	Corridor 17	Floor Leveler – White (on concrete)	None Detected
2804-39	Room 09	Carpet Adhesive – Tan (on wood)	None Detected
2804-40	Room 09	Flooring Adhesive – Black (on wood)	Chrysotile 5%
2804-41	Room 18	Carpet Adhesive – Cream (on concrete)	None Detected
2804-42	Room 18	Flooring Felt Backing – Black (on concrete)	None Detected
2804-43	Room 18	Wall Adhesive – Black (on concrete block/foam)	Chrysotile 3%
2804-44	Room 18 Closet	Wall Adhesive – Black (on concrete block/wood)	Chrysotile 3%
2804-45	Room 04	4" Vinyl Baseboard – Gray	None Detected
2804-46	Room 04	Baseboard Adhesive – Tan (on drywall)	None Detected
2804-47	Room 12	4" Vinyl Baseboard – Brown	None Detected
2804-48	Room 12	Baseboard Adhesive – Tan (on concrete block)	None Detected
2804-49	Bathroom 10	Vinyl Sheet Flooring – Pebble (on wood/under VSF)	None Detected
2804-49a	Bathroom 10	Flooring Adhesive – Black	Chrysotile 2%
2804-50	Bathroom 10	Vinyl Sheet Flooring – Gray	None Detected
2804-51	Room 04	12" Mottled Floor Tile – Gray	None Detected
2804-52	Room 04	Floor Tile Adhesive – Tan (on wood)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	12/15/17(reported)	Page:	3 of 4
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-802
LOCATION:	2804 Post Road Stevens Point	DATE COLLECTED:	12/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2804-53	Room 04	Wall Insulation Board	None Detected
2804-54	Room 16	Sink Undercoating – White	None Detected
2804-55	Exterior East	Seam Caulk – Gray (wood/stone)	None Detected
2804-56	Exterior East	Door Caulk – Gray/White (brick)	None Detected
2804-57	Exterior East	Seam Caulk – White (wood/brick)	None Detected
2804-58	Exterior East	Window Caulk – Tan (brick)	None Detected
2804-59	Exterior West	Seam Caulk – Gray (brick/brick)	None Detected
2804-60	Exterior South	Window Caulk – Gray (stone/GBW)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	12/15/17(reported)	Page:	4 of 4
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WI Department of Transportation

**Parcel 164
2804 Post Road
Stevens Point, WI**

December 2017

NOT FOR BIDDING PURPOSES

2804 Post Road - Stevens Point, WI

Note: Drawing Not to Scale

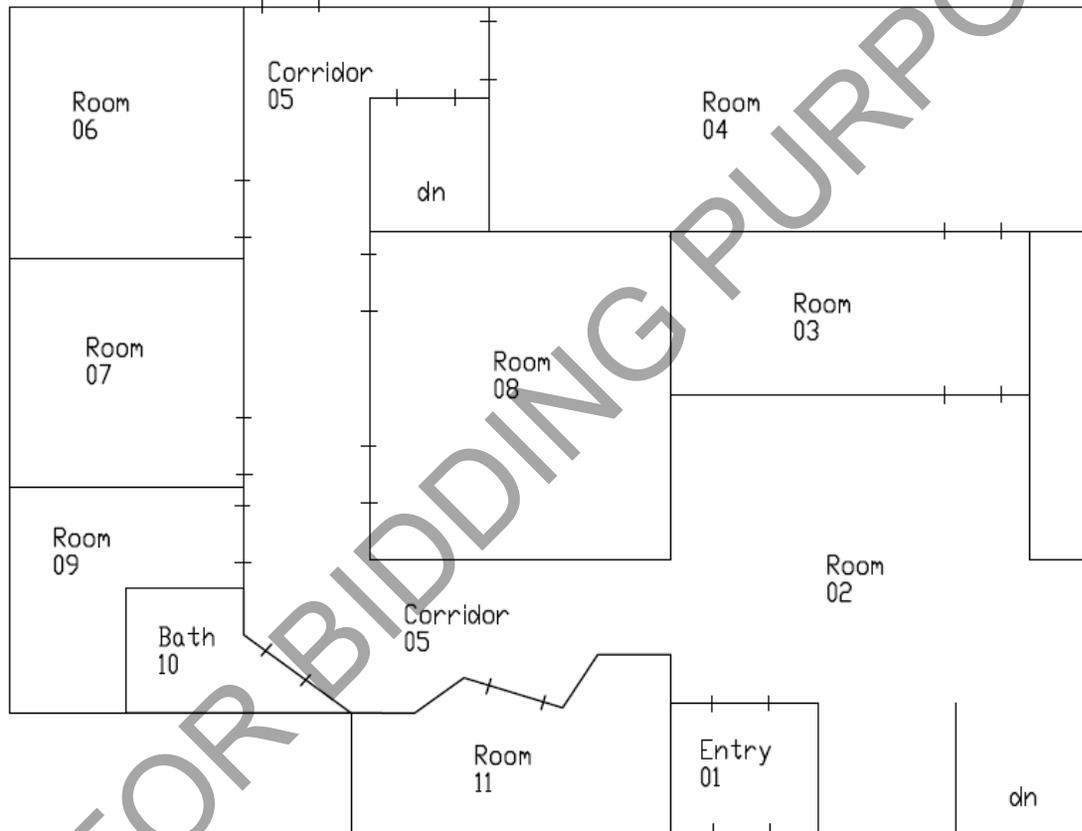
C

MAIN FLOOR

NORTH
←

B

D



Prepared By:
NorthStar Environmental Services, LLC.

Side:
A

Prepared For:
WI Department of Transportation

2804 Post Road - Stevens Point, WI

Note: Drawing Not to Scale

BASEMENT LEVEL

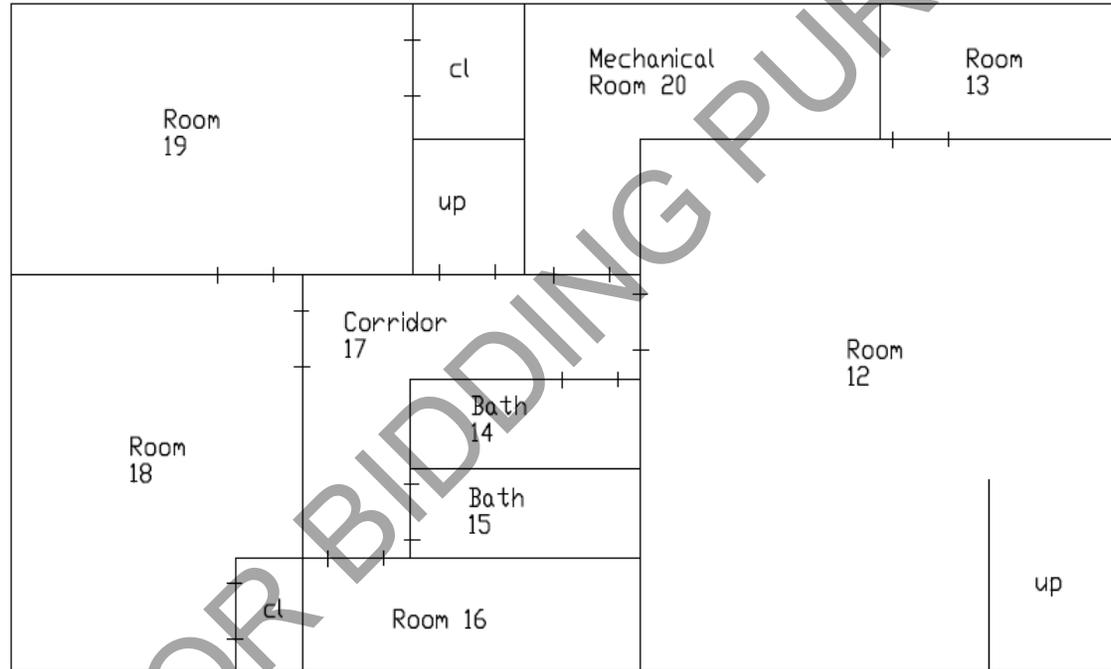
C

NORTH



B

D



Prepared By:
NorthStar Environmental Services, LLC.

Side:
A

Prepared For:
WI Department of Transportation

NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services
Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

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at

**1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017**

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811



Bob Rogalla - Training Course Manager

Exhibits

ID 6414-00-25 – Parcel 165

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

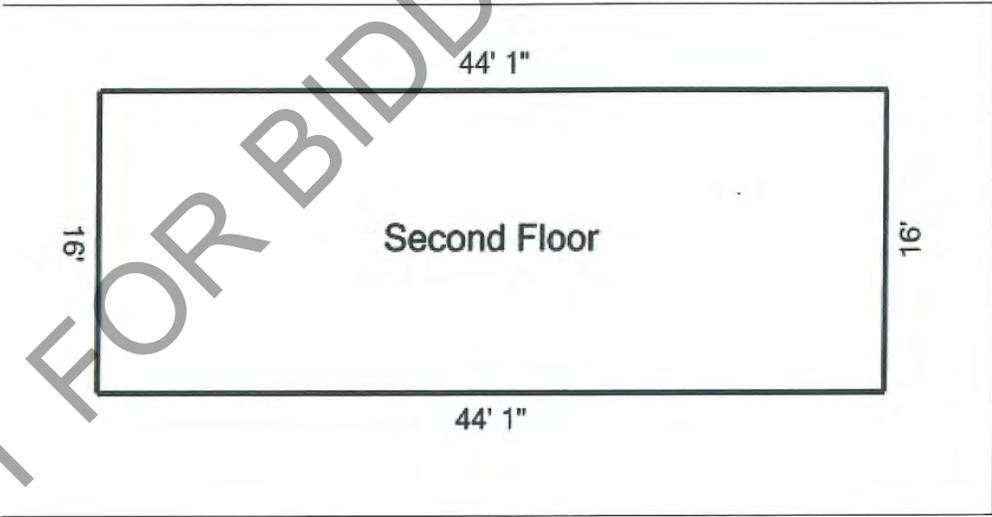
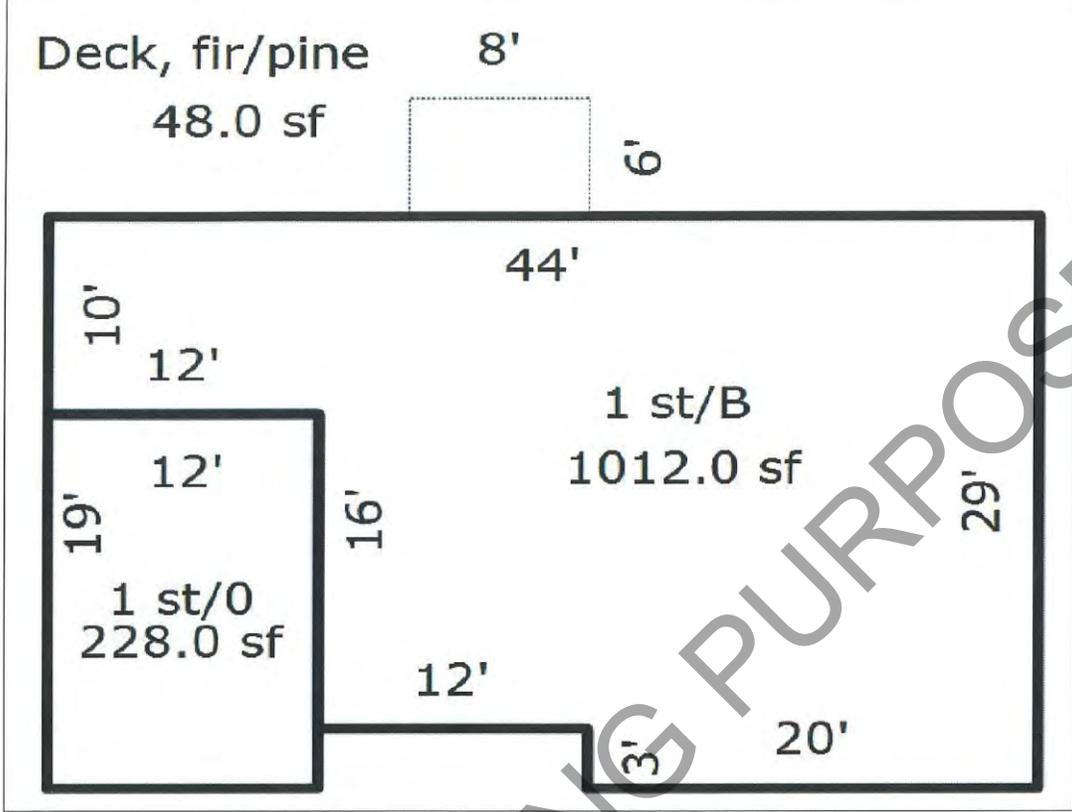
REMOVE: Parcel 165:

Two-Story (1,954 sq. ft.) single family home with a full basement that was converted into a children's book store. The building consists of wood frame and concrete block foundation. Exterior finishes consist of aluminum siding, brick and asphalt shingles. Interior finishes include carpeting, linoleum and wood flooring, painted drywall, wood paneling and drop tile ceiling. Asphalt driveway, parking lot, wood handicap ramp and porch, business sign and sign base. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

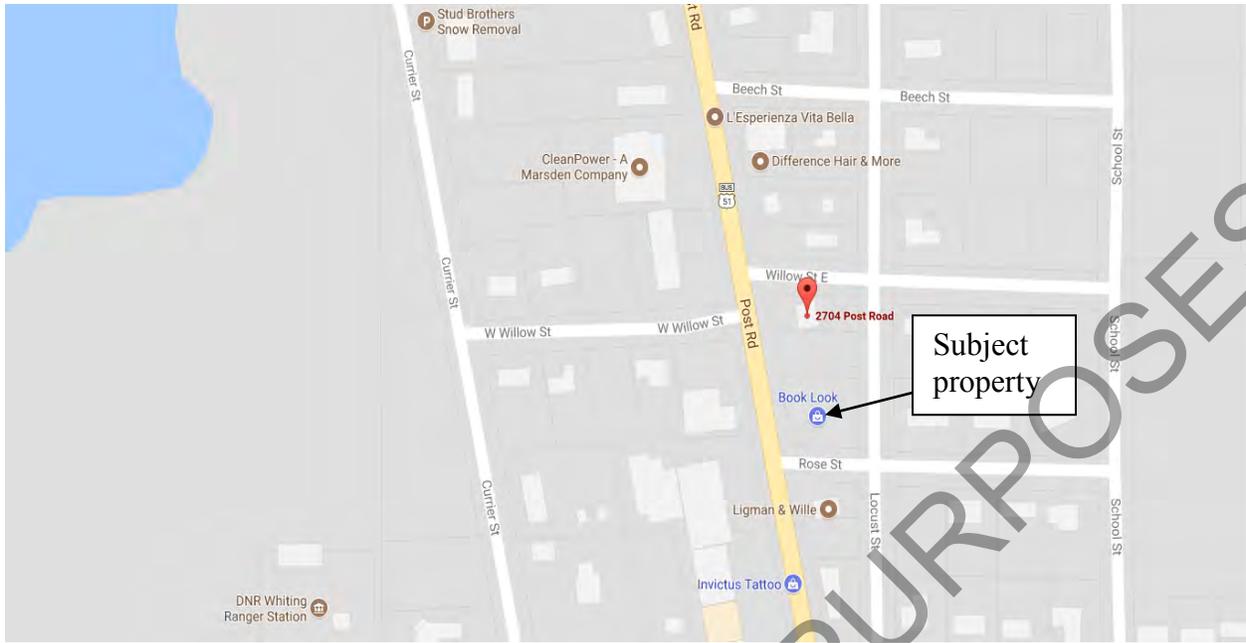
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

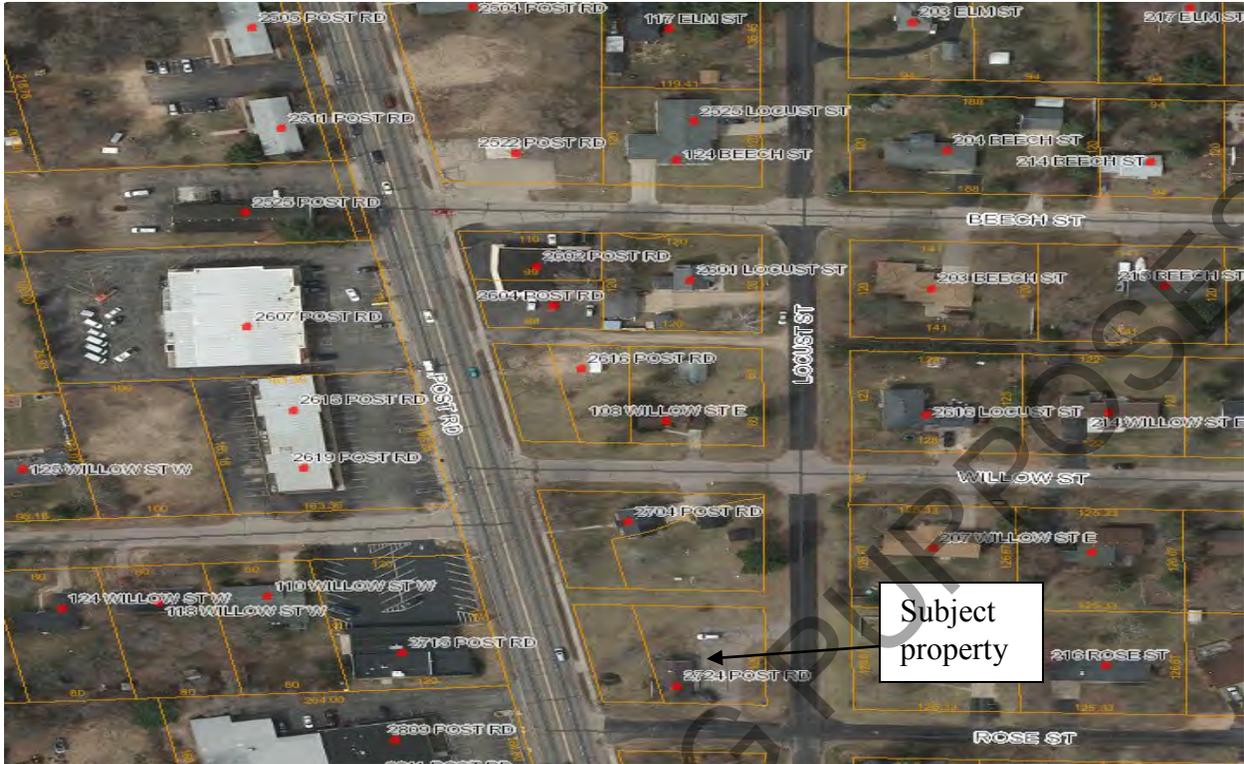
Floor Plan – Following Page(s)

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.



NOT FOR BIDDING PURPOSES









Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

S

Site: Parcel
165
Commercial
Building 2724
Post Road
Stevens Point, WI 54481

Inspection Date: November 21, 2017
Report Date: December 1, 2017

NorthStar No. 170-802

Submitted By: NorthStar
Environmental Testing, LLC.

December 1, 2017

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 165
Commercial Building
2724 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a commercial building located at 2724 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on November 21, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior/exterior of the building. Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: November 21, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-802

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Suite 121
Madison, WI 53714
Tel: 608.827.6761

December 1, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Commercial Building Parcel 165 2724 Post Road Stevens Point, WI 54481
Survey Date:	November 21, 2017
NorthStar No:	170-802

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial property located at 2724 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2724 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Commercial Building
Bldg Age:	Construction Date circa 1960
Size:	2,000 ft ² (footprint)
Floors	2 plus a basement
# of Structures:	1
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	November 21, 2017
Comments:	The building is a typical wood framed structure; stone and vinyl siding on wood exterior; fiberglass batt insulation; concrete block foundation; with a sloped asphalt shingle roof system.

SAMPLING SUMMARY:

Number of Samples:	34
Number Analyzed:	34 PLM & 1 Point Count
Asbestos Materials:	Duct Wrap Insulation, Exterior Window Caulk, 9" Floor Tile – Gray, 12" Floor Tile – Gray/Cream
Assumed ACM:	Asphalt Roofing Materials, Asphalt Siding, & Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	PLM: 11/27/2017 & Point Count: 12/1/17

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Electrical Panels	Basement	1 each or 1 ft ²	Category II non-friable/ Good condition (assumed)
Duct Wrap Insulation	First Floor: Northeast Room	2 ft ² or 1 vent boot	Friable/Good Condition/On Metal Vent Boot

* **Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the material is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
Exterior Window Caulk	Exterior: West	1 each or 1 ft ²	Category I non-friable/ Good condition/

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing Materials	Exterior Roof	2,100 ft ²	Category I non-friable/ Good condition (assumed) On wood
Asphalt Siding	First Floor: Northwest Room	160 ft ²	Category I non-friable/ Good condition (assumed) On wood
Exterior Window Caulk	Exterior	10 each or 10 ft ²	Category I non-friable/ Good condition (assumed) On vinyl
9" Floor Tile – Gray	First Floor: South Retail	400 ft ²	Category I non-friable/ Good condition/ On wood, under carpet
12" Floor Tile – Gray/Cream	First Floor: Northeast Room	36 ft ²	Category I non-friable/ Good condition/ On wood

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Window Glazing	Vinyl Sheet Flooring – Ivory Square
Wall Texture	Drywall/Joint Compound (Composite)
Popcorn Ceiling Texture	Fiberboard Backing
Plaster – Base & Skim Coats	Ceiling Tile (3 Types)
Stone Mortar	Door Caulk
Textured Paint	Carpet Adhesive – Tan
Felt Flooring Backing Paper	9” Floor Tile – Tan
Vermiculite Insulation	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client’s request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

SURVEY LIMITATIONS CONTINUED:

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

WI Department of Transportation

**Parcel 165
2724 Post Road
Stevens Point, WI**

November 2017

NOT FOR BIDDING PURPOSES

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.:	170-802
LOCATION:	2724 Post Road Stevens Point, WI	DATE COLLECTED:	11/21/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2724-1	Northeast Room	Duct Wrap Insulation	Chrysotile 65%
2724-2	Exterior – North Second Story	Window Glazing – Sliding	None Detected
2724-3	Bathroom Ceiling	Vermiculite Insulation	Tremolite <1% Point Count 0.25%
2724-4	South Retail Ceiling	Vermiculite Insulation	Tremolite <1%
2724-5	Bathroom	Vinyl Sheet Flooring – Ivory Square	None Detected
2724-6	Bathroom	Wall Texture (on drywall)	None Detected
2724-7	South Retail Area	Wall Texture (on drywall)	None Detected
2724-8	North East Room	Wall Texture (on drywall)	None Detected
2724-9	Bathroom	Drywall/Joint Compound (Composite)	None Detected
2724-10	South Retail Area	Popcorn Ceiling Texture (on plaster)	None Detected
2724-11	South Retail Area	Popcorn Ceiling Texture (on plaster)	None Detected
2724-12	South Retail Area	Popcorn Ceiling Texture (on plaster)	None Detected
2724-13	Bathroom Ceiling	Fiberboard Backing	None Detected
2724-14	Bathroom Ceiling	Plaster – Base Coat	None Detected
2724-15	Bathroom Ceiling	Plaster – Skim Coat	None Detected
2724-16	South Retail Wall	Plaster – Base Coat	None Detected
2724-17	South Retail Wall	Plaster – Skim Coat	None Detected
2724-18	Second Floor North	Plaster – Base Coat	None Detected
Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17 (PLM) 12/1/17 (Point Count)
		Page:	1 of 2

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-802
LOCATION:	2724 Post Road Stevens Point, WI	DATE COLLECTED:	11/21/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2724-19	Second Floor North	Plaster – Skim Coat	None Detected
2724-20	Bathroom	2'x2' Sheet Rock Ceiling Tile	None Detected
2724-21	South Retail	2'x2' Textured Ceiling Tile	None Detected
2724-22	Northwest Room	2'x4' Pinhole Fissured Ceiling Tile	None Detected
2724-23	Exterior West	Stone Mortar	None Detected
2724-24	Exterior West	Door Caulk (on stone)	None Detected
2724-25	Exterior West	Window Caulk (on stone)	Chrysotile 3%
2724-26	Basement	Textured Paint (on concrete block)	None Detected
2724-27	Basement	Textured Paint (on concrete block)	None Detected
2724-28	Basement	Textured Paint (on concrete block)	None Detected
2724-29	South Retail	Carpet Adhesive – Tan (on floor tile)	None Detected
2724-30	South Retail	9" Floor Tile – Gray	Chrysotile 5%
2724-31	South Retail	Felt Flooring Tile Backing Paper (on wood)	None Detected
2724-32	Northeast Room	12" Floor Tile – Gray/Cream (on 9" FT/under carpet)	Chrysotile 10%
2724-33	Northeast Room	9" Floor Tile – Tan	None Detected
2724-34	Northeast Room	Felt Flooring Tile Backing Paper (on wood)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17 (reported)	Page:	2 of 2
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NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services
Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,
conducted by

Lake States Environmental, Ltd.

at
1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811


Bob Rogalla - Training Course Manager

Exhibits

ID 6414-00-25 – Parcel 166

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

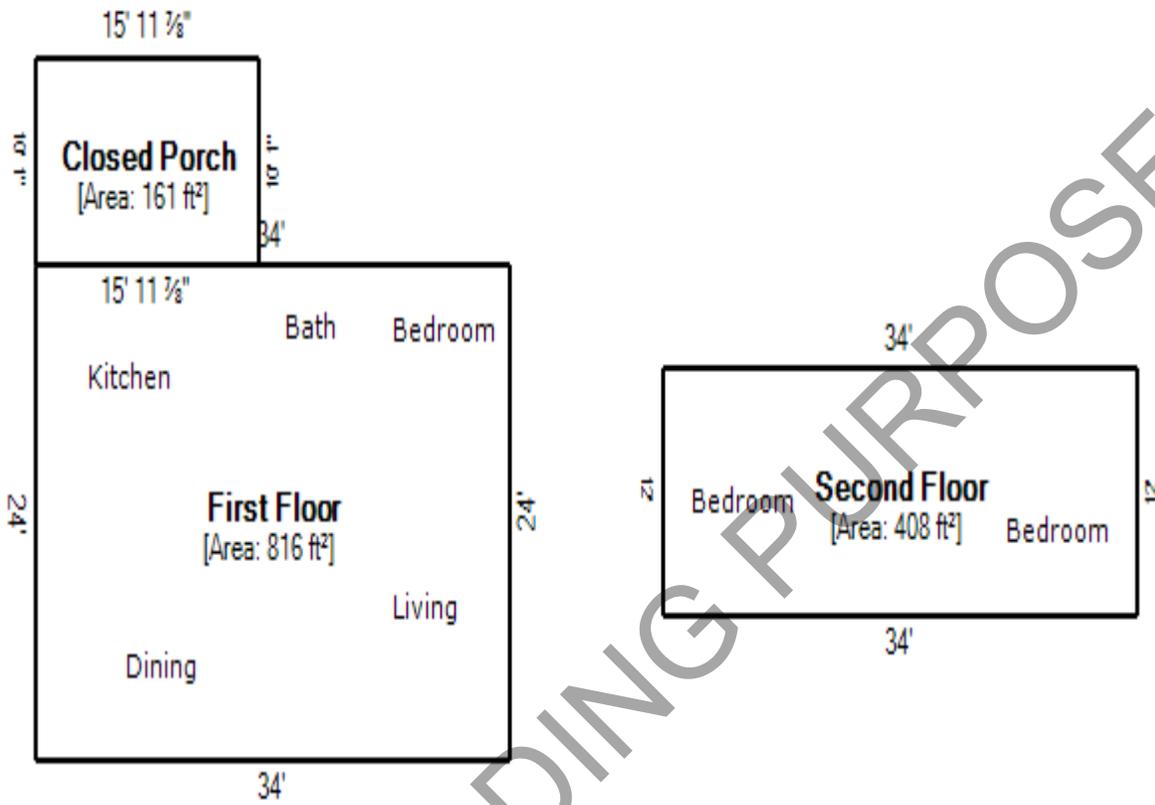
REMOVE: Parcel 166:

Two-Story (1,224 sq. ft.) single family home with full unfinished basement, 1-car detached garage (400 sq. ft.) and storage building (170 sq. ft.). The single family home consists of wood frame, chimney and stone masonry foundation. The garage and storage building consist of a wood frames and concrete slab foundations. Exterior finishes consist of vinyl and wood siding, asphalt shingles. Interior finishes include carpeting, linoleum and wood flooring, painted drywall, wood panels and wood support posts. Concrete driveway, walkway and porches and antenna. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – Following Page(s)

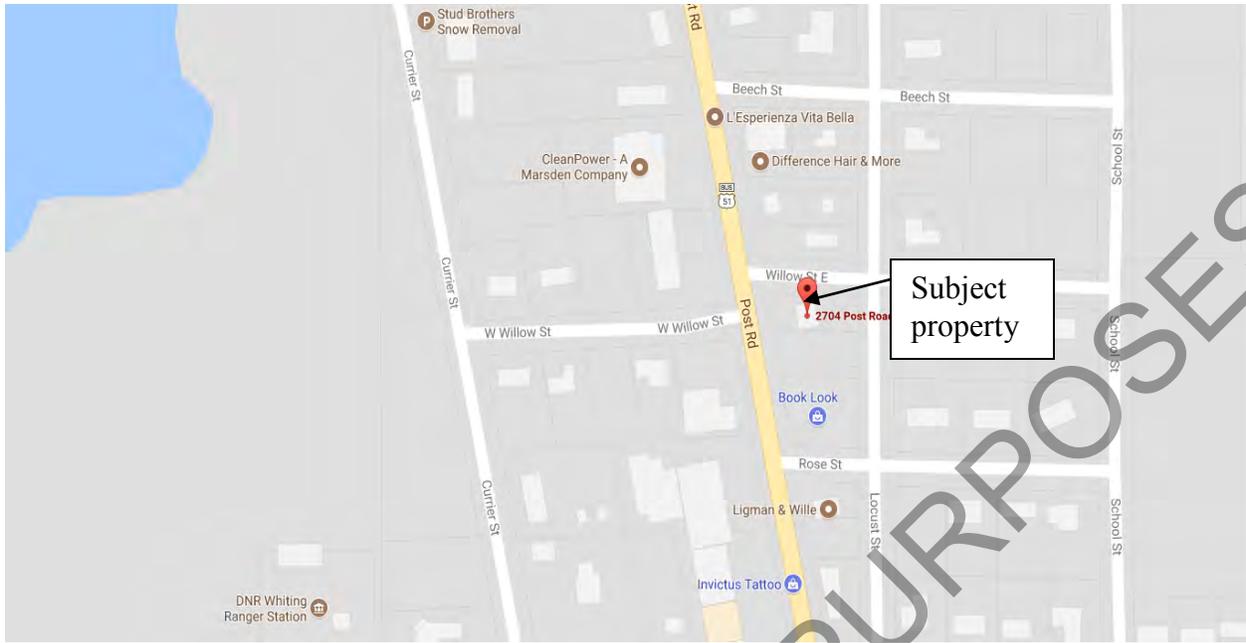
BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.



GARAGE 16' x 24.5'

STORAGE SHED 10'x 17'

NOT FOR BIDDING PURPOSES







Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

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1835 E. Edgewood Drive
Suite 10542
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Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site:

Parcel 166 Residential Building,
Garage, & Shed
2704
Post Road Stevens
Point, WI 54481

Inspection Date: July 11, 2017

Report Date: July 28, 2017

NorthStar No. 170-410

Submitted By: NorthStar
Environmental Testing, LLC.

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 166
Residential Building, Garage, & Shed
2704 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a residential building, garage, & shed located at 2704 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on July 11, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior of the building. Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: July 11, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-410



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July 28, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Residential Building, Garage, & Shed 2704 Post Road Stevens Point, WI 54481
Survey Date:	July 11, 2017
NorthStar No:	170-410

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a residential property located at 2704 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2704 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Residential Building
Bldg Age:	1940's
Size:	House: 1,440 ft ² Garage: 432 ft ² Shed: 216 ft ²
Floors	House: 2 plus basement Garage & Shed: 1
# of Structures:	3 (House, Garage, Shed)
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	July 11, 2017
Comments:	The house is a typical wood framed structure with vinyl siding; field stone foundation; and sloped asphalt roof system. The garage and shed are wood framed structures with wood siding and sloped asphalt shingle roof systems on concrete slab.

SAMPLING SUMMARY:

Number of Samples:	52
Number Analyzed:	52
Asbestos Materials:	Duct Wrap & Vinyl Countertop/Backsplash (Tan Pebble Pattern)
Assumed ACM:	Asphalt Roofing and Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	7/18/2017 – PLM (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Electrical Panels	Throughout	Not Quantified	Category II non-friable/ good (assumed)
Duct Wrap	Basement (near chimney)	3 ft ²	Friable Backing/ Good condition
Vinyl Countertop/ Backsplash – Tan Pebble Pattern	Kitchen	30 ft ²	Friable Backing/ Good condition

* Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing	House Roof	1,440 ft ²	Category I non-friable/ Good condition/ Assumed
Asphalt Roofing	Garage Roof	432 ft ²	Category I non-friable/ Good condition/ Assumed
Asphalt Roofing	Shed Roof	216 ft ²	Category I non-friable/ Good condition/ Assumed

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
House	
Window Glazing (5 Types)	Vinyl Countertop/Backsplash – Gray Pebble
Vinyl Sheet Flooring (6 Types)	Carpet Underlayment
Flooring Underlayment	Carpet Adhesive – White
Pipe Wrap Cloth	Window Caulk
Stone Mortar	Brick Mortar
Blown-in Insulation	Wall Insulation – White
Vapor Barrier (2 Types)	Wall Texture (3 Types)
Plaster (Base & Skim Coats)	Drywall
Wall Adhesive	Fiberboard
Garage	
Window Glazing	Wall Covering
Shed	
Window Glazing	

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client’s request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

SURVEY LIMITATIONS CONTINUED:

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

**2704 Post Road
Stevens Point, WI**

July 2017

NOT FOR BIDDING PURPOSES



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	2704 Post Road Stevens Point	DATE COLLECTED:	7/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2704-1	Basement (Near Chimney)	Duct Wrap	Chrysotile 65%
2704-2	House Exterior North Porch	Window Glazing (Type I)	None Detected
2704-3	House Exterior North	Basement Window Glazing (Type II)	Chrysotile <1%
2704-4	House Exterior North	Basement Storm Window Glazing (Type III)	None Detected
2704-5	House Exterior North	Window Glazing – Storm (Type IV)	None Detected
2704-6	House Exterior East	Window Glazing – Double Hung (Type V)	None Detected
2704-7	Kitchen	Vinyl Backsplash/Countertop – Gray Pebble Pattern	None Detected
2704-8	Kitchen	Vinyl Backsplash/Countertop – Tan Pebble Pattern	Chrysotile 25%
2704-9	Kitchen	Vinyl Sheet Flooring – White Square (top layer)	None Detected
2704-10	Kitchen	Vinyl Sheet Flooring – Tan (bottom layer)	None Detected
2704-11	Basement Stairs	Vinyl Sheet Flooring – Brown	None Detected
2704-12	Bathroom	Vinyl Sheet Flooring – Tan Square	None Detected
2704-13	Second Floor Stair Hallway	Vinyl Sheet Flooring – Brown Leaf Pattern	None Detected
2704-14	Second Floor South Bedroom	Vinyl Sheet Flooring – Blue/Gray	None Detected
2704-15	Second Floor North Bedroom	Carpet Underlayment	None Detected
2704-16	Bathroom	Flooring Underlayment	None Detected
2704-17	Rear Porch	Carpet Adhesive – White (on conc)	None Detected
2704-18	Basement	Pipe Wrap – Cloth	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	7/18/17	Page:	1 of 3
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817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	2704 Post Road Stevens Point	DATE COLLECTED:	7/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2704-19	House Exterior West	Window Caulk (on vinyl/wood)	None Detected
2704-20	House Exterior North	Stone Mortar	None Detected
2704-21	Basement	Brick Mortar	None Detected
2704-22	Attic	Blown-in Insulation	None Detected
2704-23	Kitchen	Wall Insulation	None Detected
2704-24	House Exterior North	Vapor Barrier – Black	None Detected
2704-25	House Exterior North	Vapor Barrier – White	None Detected
2704-26	Dining Room – West Wall	Wall Texture (Type I)	None Detected
2704-27	Dining Room – West Wall	Plaster – Base Coat	None Detected
2704-28	Dining Room – West Wall	Plaster – Skim Coat	None Detected
2704-29	Dining Room – Ceiling	Wall Texture (Type I)	None Detected
2704-30	Dining Room – Ceiling	Plaster – Base Coat	None Detected
2704-31	Dining Room – Ceiling	Plaster – Skim Coat	None Detected
2704-32	Living Room – North Wall	Wall Texture (Type I)	None Detected
2704-33	Living Room – North Wall	Plaster – Base Coat	None Detected
2704-34	Living Room – North Wall	Plaster – Skim Coat	None Detected
2704-35	First Floor Bedroom	Wall Texture (Type II)	None Detected
2704-36	First Floor Bedroom	Plaster – Base Coat	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	7/18/17	Page:	2 of 3
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Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:
1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:
1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-410
LOCATION:	2704 Post Road Stevens Point	DATE COLLECTED:	7/11/17
WORK AREA:	Pre-Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2704-37	First Floor Bedroom	Plaster – Skim Coat	None Detected
2704-38	First Floor Bedroom	Drywall	None Detected
2704-39	Bathroom	Wall Texture (Type II)	None Detected
2704-40	Kitchen	Wall Texture (Type II)	None Detected
2704-41	Basement	Wall Texture (Type III)	None Detected
2704-42	Basement	Wall Texture (Type III)	None Detected
2704-43	Basement	Wall Texture (Type III)	None Detected
2704-44	Second Floor Stair Hallway	Plaster – Base Coat	None Detected
2704-45	Second Floor Stair Hallway	Plaster – Skim Coat	None Detected
2704-46	Kitchen	Plaster – Base Coat	None Detected
2704-47	Kitchen	Plaster – Skim Coat	None Detected
2704-48	Kitchen	Wall Adhesive	None Detected
2704-49	Kitchen	Fiberboard	None Detected
2704-50	Garage Exterior East	Window Glazing	None Detected
2704-51	Garage Interior	Wall Covering	None Detected
2704-52	Shed Exterior	Window Glazing	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	7/18/17	Page:	3 of 3
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Central Wisconsin Office:

817 Oak Ridge Rd
Wausau, WI 54985
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10722
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 021
Madison, WI 53714
Tel: 608.827.6761

NorthStar Environmental Testing, LLC

ASBESTOS BULK SAMPLE LOG-IN

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017
Expiration Date: 08/01/2019, 12:01 a.m.
Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



Inspector Certification

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services

Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



COPY

Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,

conducted by

Lake States Environmental, Ltd.

at

**1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017**

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811



Bob Rogalla - Training Course Manager

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Exhibits

ID 6414-00-25 – Parcel 168

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 168:

One-Story mixed use commercial (2,632 sq. ft.) and residential (720 sq. ft.) building with no basement. The building consists of wood frame and concrete block foundation. Exterior finishes consist of vinyl siding, stone veneer and rubber membrane roof. Interior finishes include carpeting, ceramic tile and painted drywall. Asphalt driveway and parking lot, concrete walk way, business sign, sign base and wall hung business sign. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – Following Page(s)

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

Parcel 168 2600-2604 Post Road - Stevens Point, WI 54481

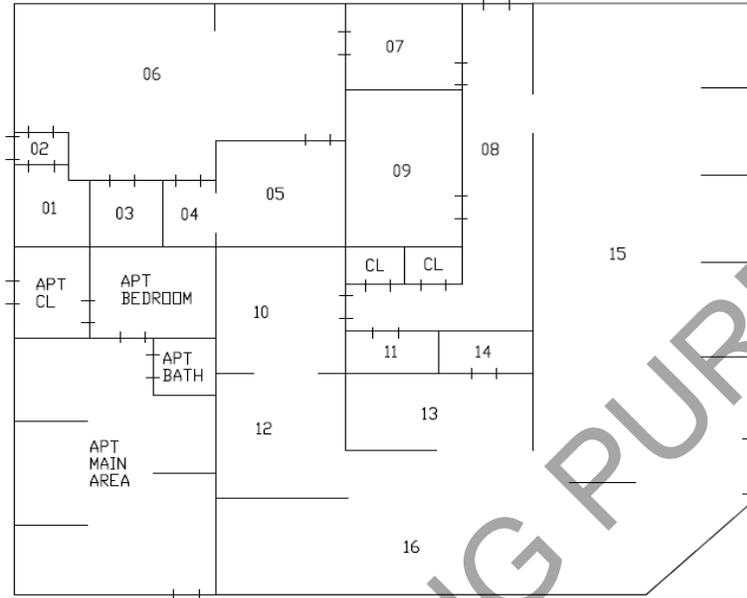
Note: Drawing Not to Scale

MAIN FLOOR

C

B

D

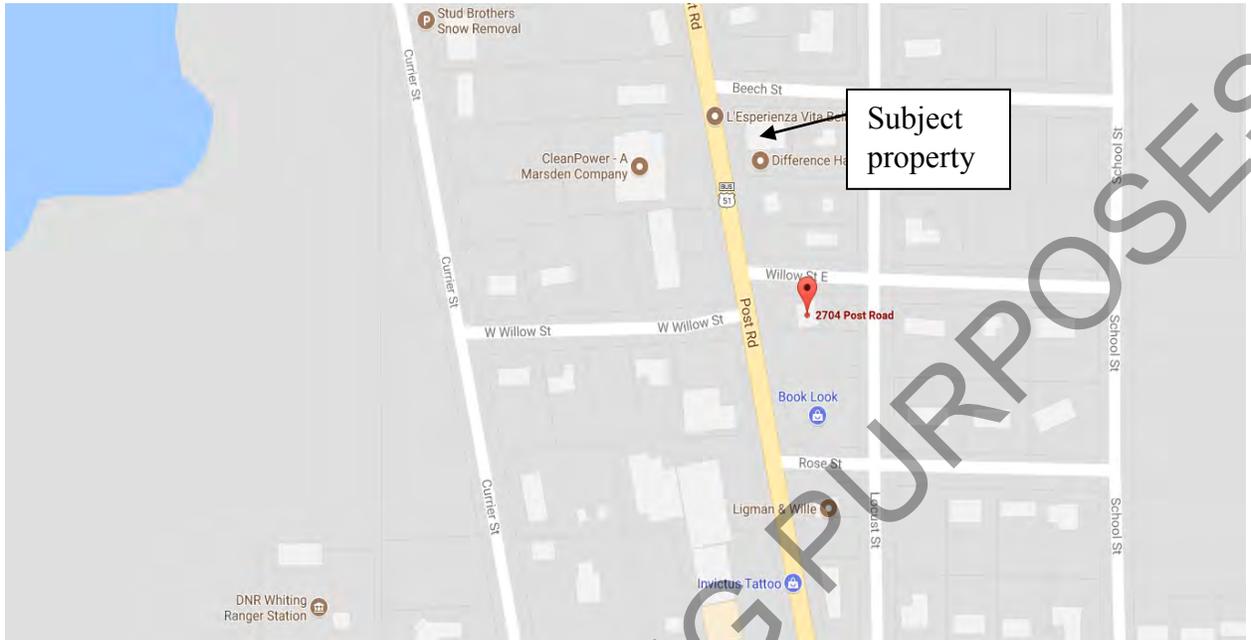


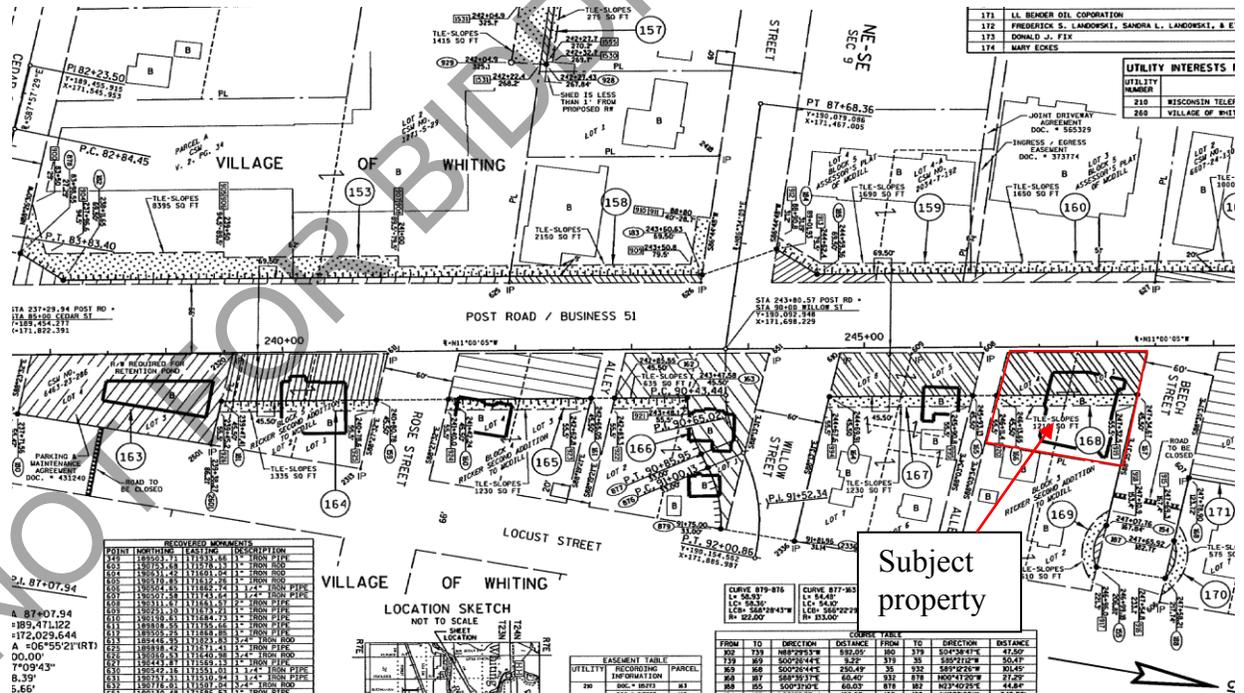
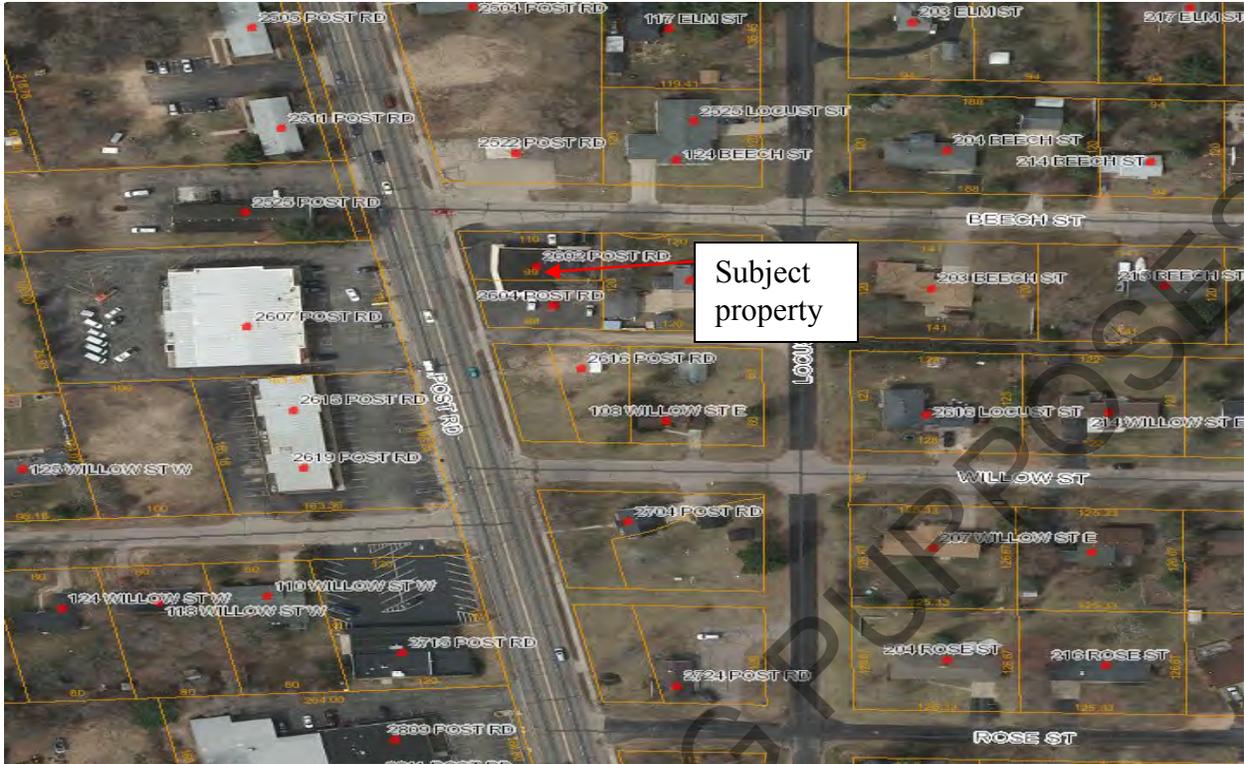
Prepared By:
NorthStar Environmental Services, LLC.

Scale:
A

Prepared For:
WI Department of Transportation

NOT FOR BIDDING PURPOSES









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Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site:

Parcel 168 Residential &
Commercial Building
2600-2604
Post Road
Stevens Point, WI
54481

Inspection Date: November 21, 2017

Report Date: November 30, 2017

NorthStar No. 170-839

Submitted By: NorthStar
Environmental Testing, LLC.



Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:
1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:
1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

November 30, 2017

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 168
Residential & Commercial Building
2600-2604 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a residential & commercial building located at 2600-2604 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on November 21, 2017.

No asbestos containing building materials that will need to be removed prior to demolition were identified on the exterior/interior of the building. **Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition.** Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: November 21, 2017

NorthStar Environmental Testing, LLC.

A handwritten signature in black ink, appearing to read "David Barrett", is written over a horizontal line.

David Barrett
Senior Project Manager

A handwritten signature in black ink, appearing to read "Jamie Brzezinski", is written over a horizontal line.

Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-839

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NorthStar Certifications.....	2 Pages

November 30, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Commercial & Residential Building Parcel 168 2600-2604 Post Road Stevens Point, WI 54481
Survey Date:	November 21, 2017
NorthStar No:	170-839

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial & residential property located at 2600-2604 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2600-2604 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Residential & Commercial Building
Bldg Age:	Construction Date circa 1970
Size:	3,500 ft ² (footprint)
Floors	1
# of Structures:	1
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	November 21, 2017
Comments:	The building is a typical wood framed structure with vinyl, wood, and stone siding; fiberglass batt and blown-in insulation; concrete block foundation; on concrete slab; with a built-up flat roof system.

SAMPLING SUMMARY:

Number of Samples:	46
Number Analyzed:	46
Asbestos Materials:	None
Assumed ACM:	Built-up Roofing and Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	11/28/2017 (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Electrical Panels	Throughout	5 each or 5 ft ²	Category II non-friable/ Good condition (assumed)

* **Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Built-up Roofing	Exterior Roof	3,500 ft ²	Category I non-friable/ Good condition (assumed) On wood

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Blown-in Attic Insulation	Drywall/Joint Compound (Composite)
Popcorn Ceiling Texture	Wall Texture
4" Vinyl Baseboard (2 Types)	Baseboard Adhesive (2 Types)
Stone Mortar	Vinyl Sheet Flooring (2 Types)
Carpet Adhesive – Tan	Floor Leveler (3 Types)
Vinyl Sheet Flooring Adhesive – White	12" Floor Tile (3 Types)
Floor Tile Adhesive (2 Types)	Ceramic Floor Tile Grout (6 Types)
Stone Floor Tile Grout – White	Ceramic Wall Tile Grout – Tan
Ceramic Wall Tile Adhesive – White	

ASBESTOS RECOMMENDATIONS:

All friable ACM as well as non-friable ACM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

SURVEY LIMITATIONS CONTINUED:

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

WI Department of Transportation

**Parcel 168
2600-2604 Post Road
Stevens Point, WI**

November 2017

NOT FOR BIDDING PURPOSES

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-839
LOCATION:	2600-2604 Post Road Stevens Point, WI	DATE COLLECTED:	11/21/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2600-1	Apartment Main Area	Blown-in Attic Insulation	None Detected
2600-2	Salon Room 10	Blown-in Attic Insulation	None Detected
2600-3	Apartment Main Area West Wall	Drywall/Joint Compound (Composite)	None Detected
2600-4	Salon Room 09	Drywall/Joint Compound (Composite)	None Detected
2600-5	Apartment Main Area	Popcorn Ceiling Texture (on drywall)	None Detected
2600-6	Apartment Bathroom	Popcorn Ceiling Texture (on drywall)	None Detected
2600-7	Salon Room 04	Popcorn Ceiling Texture (on drywall)	None Detected
2600-8	Salon Room 13	Popcorn Ceiling Texture (on drywall)	None Detected
2600-9	Salon Room 15	Popcorn Ceiling Texture (on drywall)	None Detected
2600-10	Apartment Main Area South Wall	Wall Texture (on drywall)	None Detected
2600-11	Apartment Bedroom East Wall	Wall Texture (on drywall)	None Detected
2600-12	Salon Room 06	Wall Texture (on drywall)	None Detected
2600-13	Salon Room 08	Wall Texture (on drywall)	None Detected
2600-14	Salon Room 09	Wall Texture (on drywall)	None Detected
2600-15	Salon Room 10	Wall Texture (on drywall)	None Detected
2600-16	Salon Room 16	Wall Texture (on drywall)	None Detected
2600-17	Apartment Main Area South Wall	4" Vinyl Baseboard – Tan	None Detected
2600-18	Apartment Main Area South Wall	Baseboard Adhesive - Tan	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/28/17 (reported)	Page:	1 of 3
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-839
LOCATION:	2600-2604 Post Road Stevens Point, WI	DATE COLLECTED:	11/21/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2600-19	Salon Room 02	4" Vinyl Baseboard – Gray	None Detected
2600-20	Salon Room 02	Baseboard Adhesive - Brown	None Detected
2600-21	Exterior West	Stone Mortar	None Detected
2600-22	Apartment Bedroom	Vinyl Sheet Flooring – White (on concrete/under carpet)	None Detected
2600-23	Apartment Bedroom	Carpet Adhesive – Tan (on vinyl)	None Detected
2600-24	Apartment Bedroom	Floor Leveler – Gray (on concrete)	None Detected
2600-25	Apartment Main Area SE	Vinyl Sheet Flooring – Ivory (on concrete/under carpet)	None Detected
2600-26	Apartment Main Area SE	Vinyl Sheet Floor Adhesive – White (on concrete)	None Detected
2600-27	Apartment Main Area East	Floor Tile - Green (on concrete/under carpet)	None Detected
2600-28	Apartment Main Area East	Floor Tile Adhesive – Brown (on concrete)	None Detected
2600-29	Salon 11	12" Floor Tile – Tan (Top Layer) (on FT)	None Detected
2600-30	Salon 11	12" Floor Tile – White (Bottom Layer) (on concrete/under FT)	None Detected
2600-31	Salon 11	Floor Tile Adhesive – Tan (on concrete)	None Detected
2600-32	Apartment Main Area West	Carpet Adhesive – Tan (on concrete)	None Detected
2600-33	Apartment Main Area West	Floor Leveler – Dark Gray (on concrete)	None Detected
2600-34	Apartment Main Area	Ceramic Floor Tile Grout – Dark Gray (on concrete)	None Detected
2600-35	Apartment Main Area	Floor Leveler – Light Gray (on concrete)	None Detected
2600-36	Apartment Bathroom	Ceramic Floor Tile Grout – Brown (Top Layer/on CRT)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/28/17 (reported)	Page:	2 of 3
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817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

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Suite 121
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-839
LOCATION:	2600-2604 Post Road Stevens Point, WI	DATE COLLECTED:	11/21/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
2600-37	Apartment Bathroom	Ceramic Floor Tile Grout – Gray (Top Layer/on CRT)	None Detected
2600-38	Apartment Bathroom	Ceramic Floor Tile Grout – DK Gray (Bottom Layer/on concrete)	None Detected
2600-39	Salon Room 02	Ceramic Floor Tile Grout –Gray (on concrete)	None Detected
2600-40	Salon Room 03	Ceramic Floor Tile Grout – Brown (on concrete)	None Detected
2600-41	Salon Room 04	Ceramic Floor Tile Grout –Red (on concrete)	None Detected
2600-42	Salon Room 04	Ceramic Floor Tile Grout –Gray (on concrete)	None Detected
2600-43	Salon Room 08	Ceramic Floor Tile Grout –White (on concrete)	None Detected
2600-44	Salon Room 15	Stone Floor Tile Grout –White (on concrete)	None Detected
2600-45	Salon Room 15	Ceramic Wall Tile Grout –Tan (on drywall)	None Detected
2600-46	Salon Room 15	Ceramic Wall Tile Adhesive – White (on drywall)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/28/17 (reported)	Page:	3 of 3
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WI Department of Transportation

**Parcel 168
2600-2604 Post Road
Stevens Point, WI**

November 2017

NOT FOR BIDDING PURPOSES

Parcel 168 2600-2604 Post Road - Stevens Point, WI 54481

Note: Drawing Not to Scale

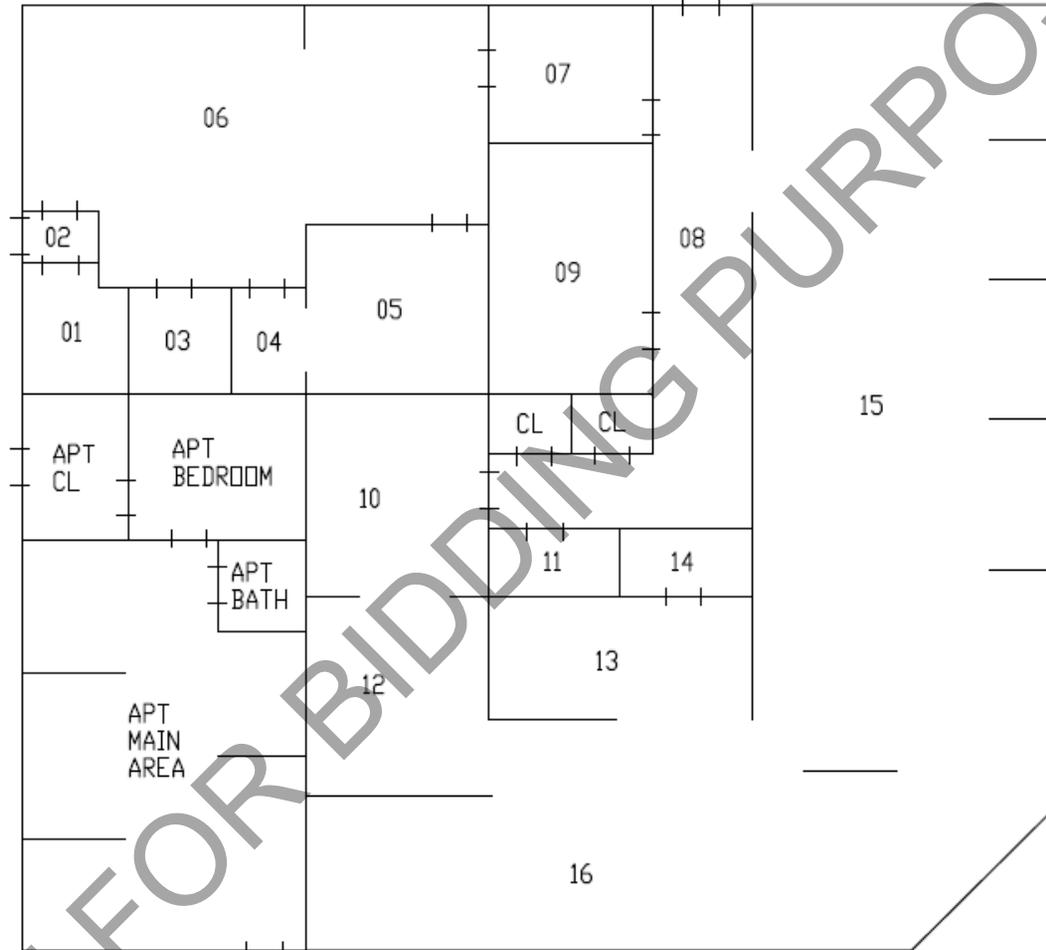
MAIN FLOOR

C

NORTH
→

B

D



Prepared By:
NorthStar Environmental Services, LLC.

Slide:
A

Prepared For:
WI Department of Transportation

NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services

Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

*This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,
conducted by*

Lake States Environmental, Ltd.

at
1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811


Bob Rogalla - Training Course Manager

NOT FOR BIDDING PURPOSES

Exhibits

ID 6414-00-25 – Parcel 171

Removal, Grading, Backfill

Location Map

Photos

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 171:

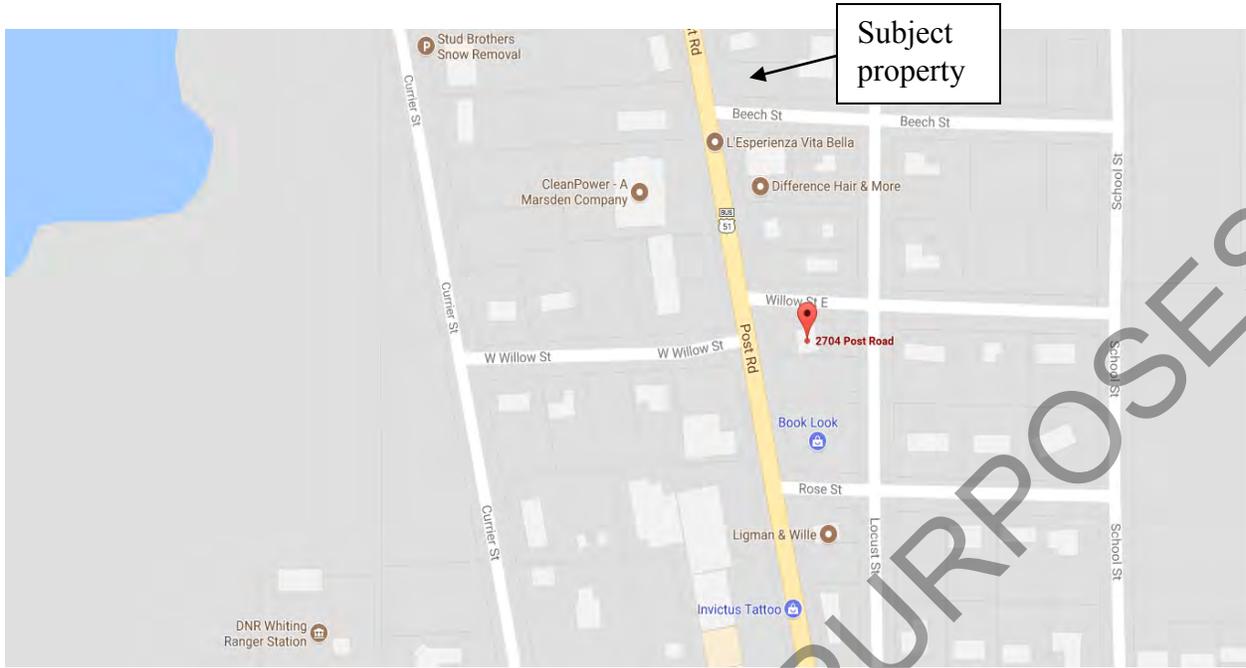
Asphalt driveway and parking lot, concrete slab, business sign, sign base and two concrete balusters.

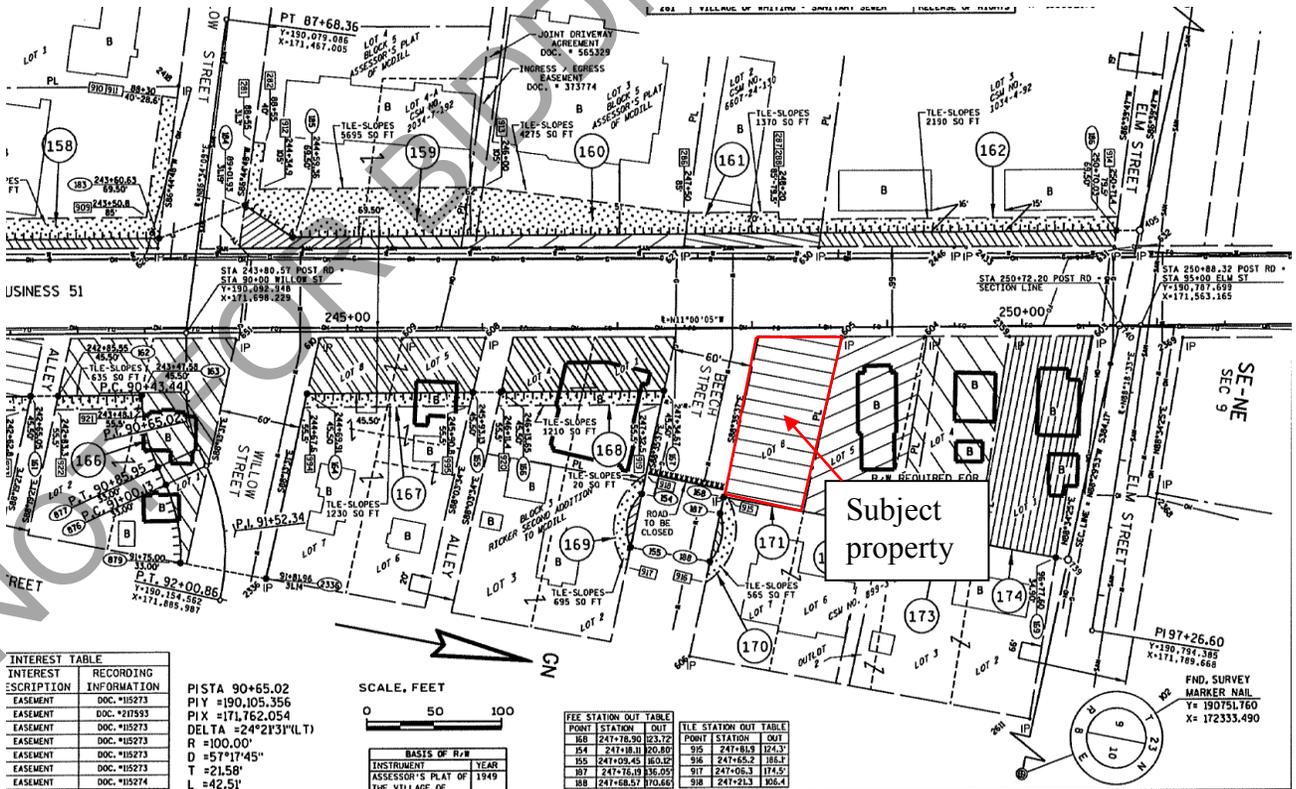
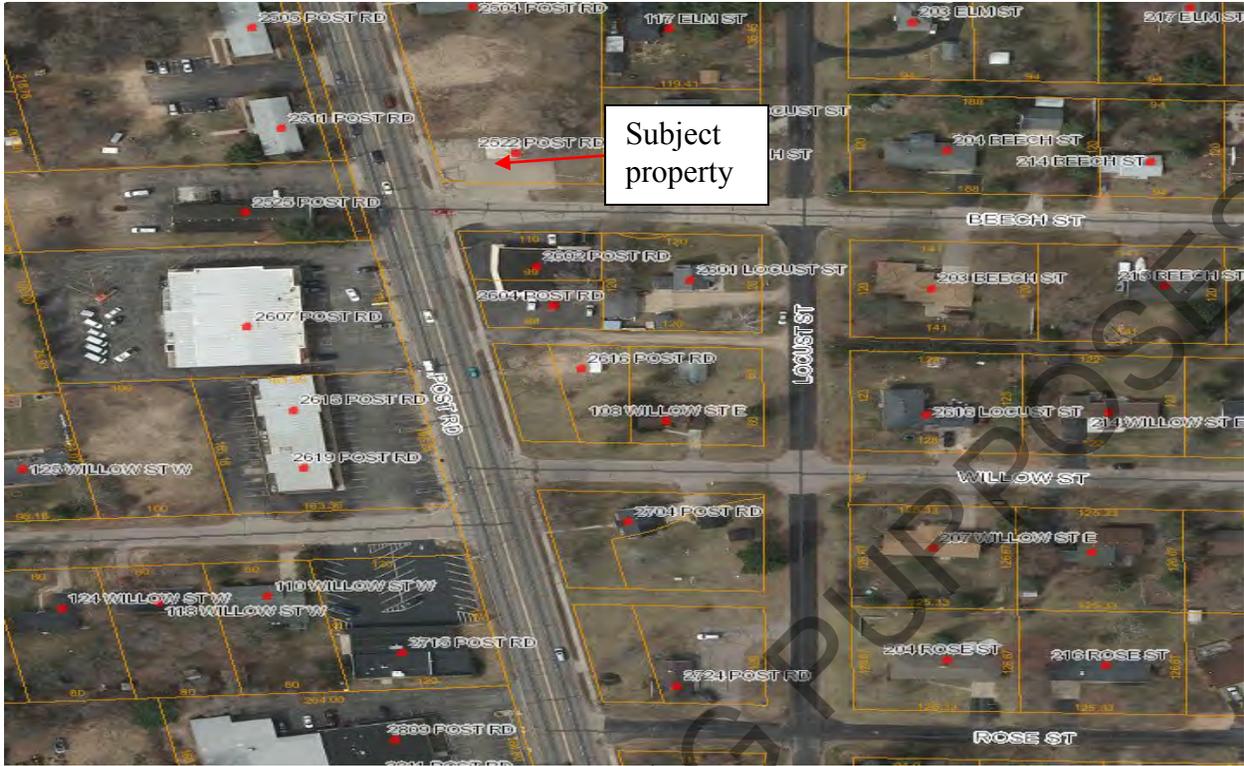
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

NOT FOR BIDDING PURPOSES







NOT FOR BIDDING PURPOSES

Exhibits

ID 6414-00-25 – Parcel 181

Removal, Grading, Backfill

Location Map

Photo

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 181:

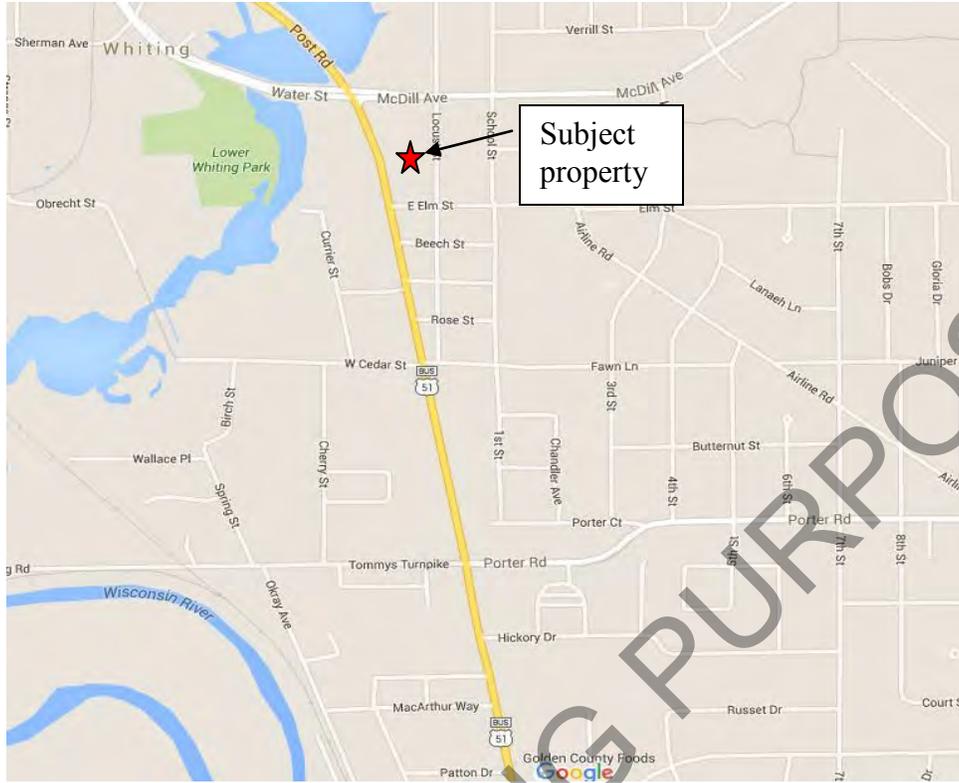
Pylon business advertising sign with lighting and electrical.

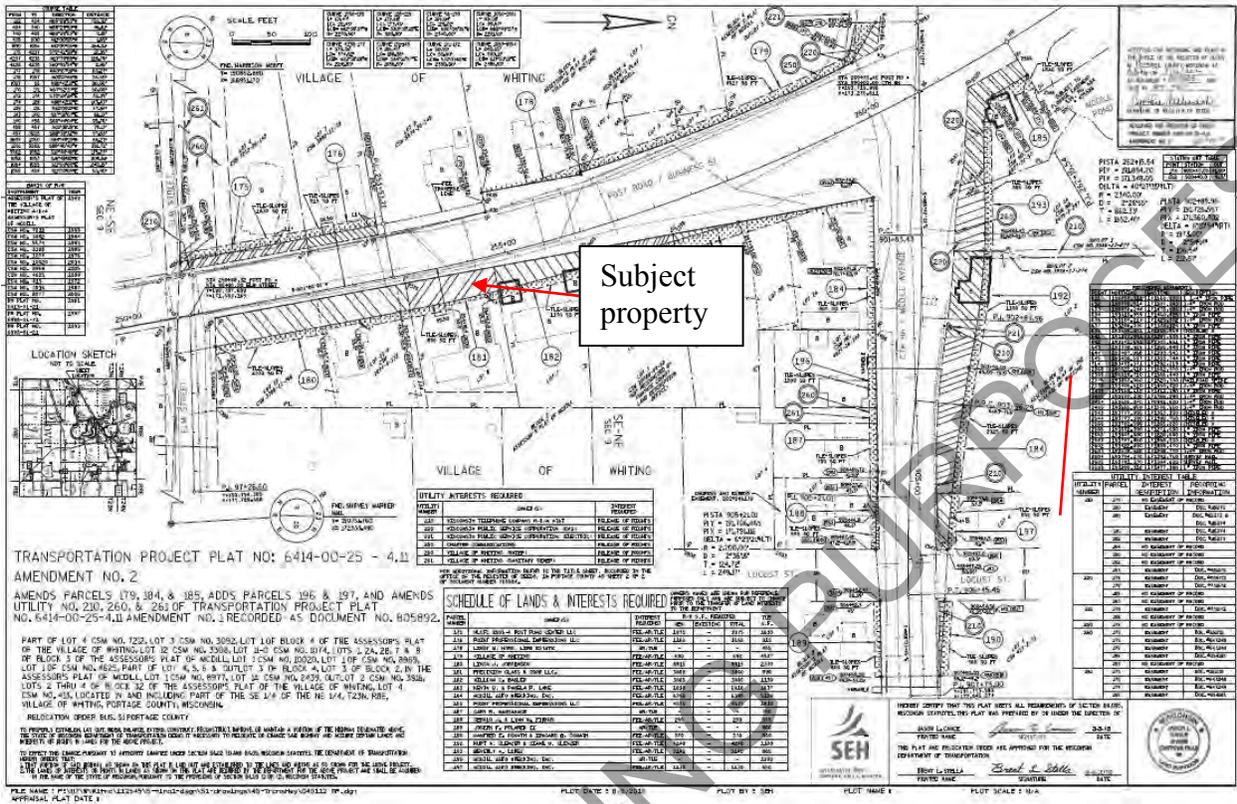
Disconnect electrical and completely remove and dispose of business sign, lighting and foundation.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

NOT FOR BIDDING PURPOSES





Exhibits

ID 6414-00-25 – Parcel 182

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 182:

Two one story two stall garages each about 540 SF in size. The garages are of wood frame construction with wood and a partial stone veneer. The roof is pitched with composition shingles supported by wood rafters. Both garages are on a concrete foundation and have a concrete floor. Asbestos must be removed pursuant to Article 15 of the Special Provisions.

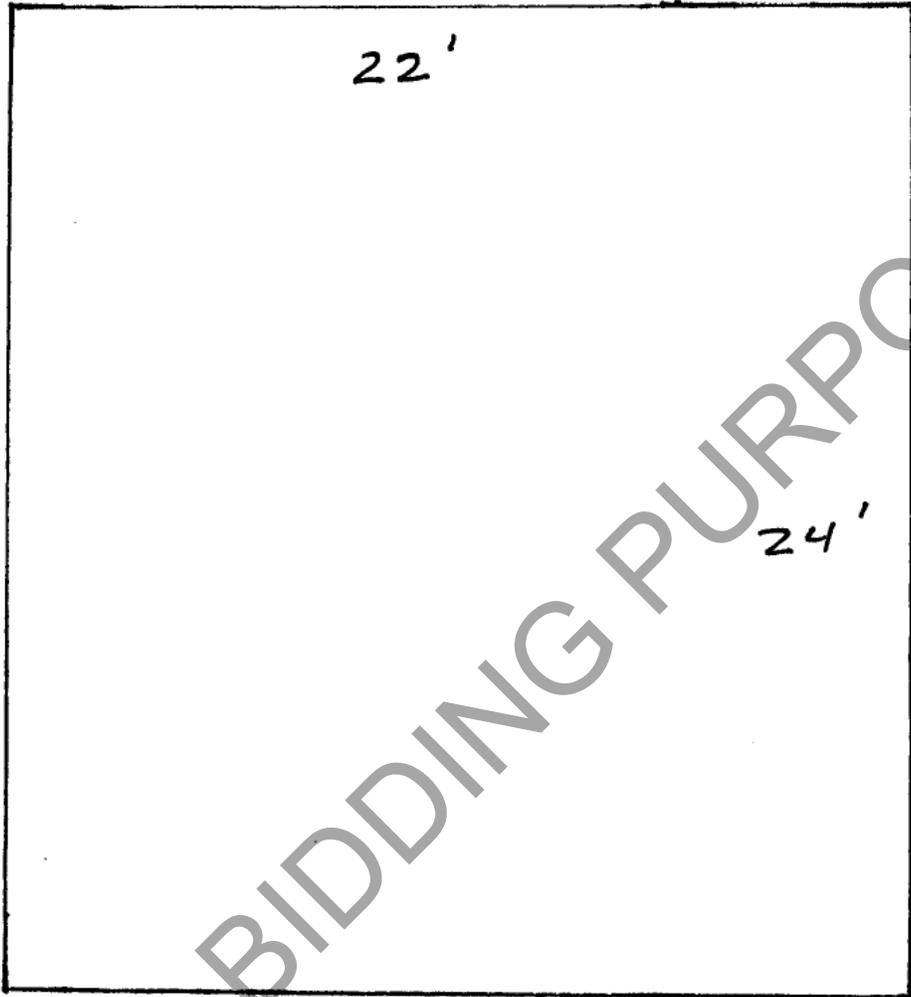
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – N/A

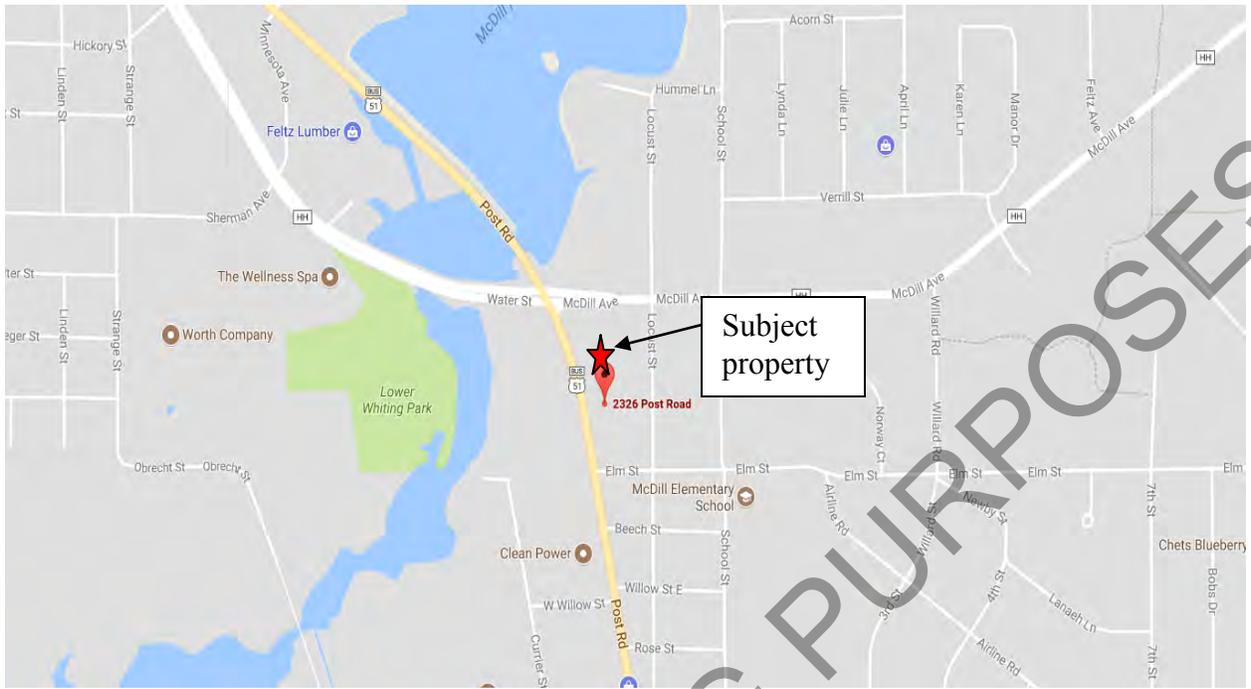
BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

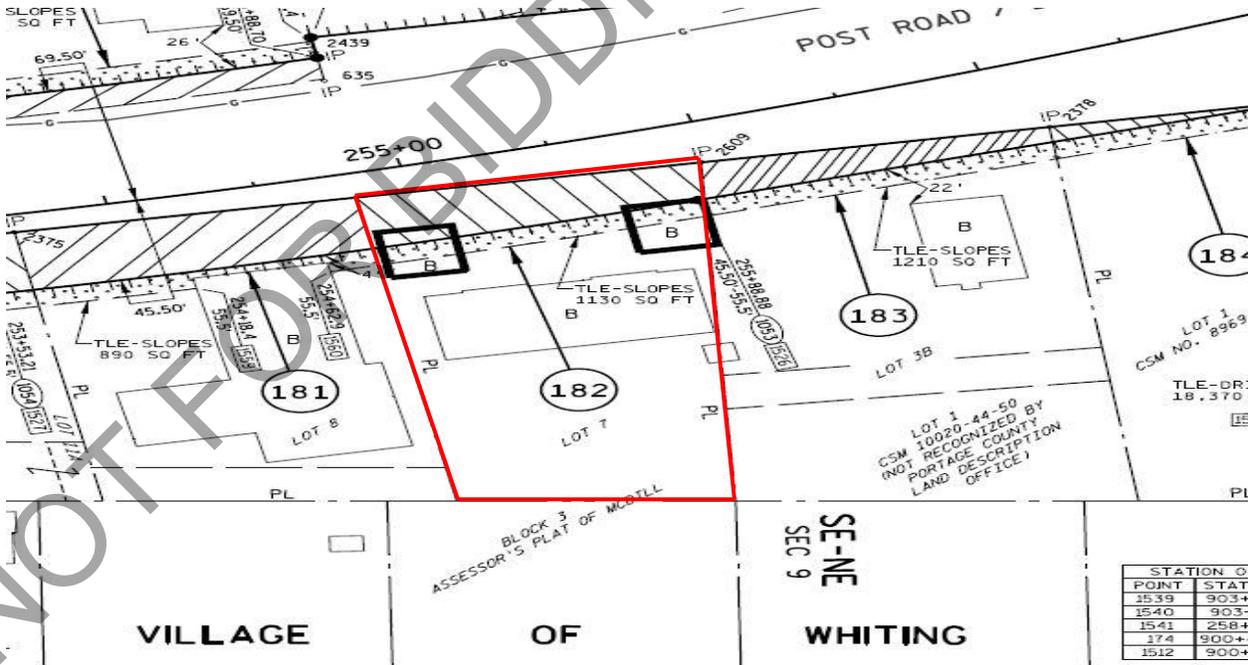
NOT FOR BIDDING PURPOSES

Floor Plan Garages 1 & 2



NOT FOR BIDDING PURPOSES





UTILITY INTERESTS REQUIRED		
UTILITY NUMBER	OWNER (S)	INTEREST REQUIRED



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site:

Parcel 182 2 Commercial Buildings
(Detached Garages)
2316
Post Road Stevens Point,
WI 54481

Inspection Date: January 13, 2018

Report Date: January 18, 2018

NorthStar No. 170-802

Submitted By: NorthStar
Environmental Testing, LLC.



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

January 18, 2018

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 182
2 Commercial Buildings (Detached Garages)
2316 Post Road
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of 2 commercial buildings (detached garages) located at 2316 Post Road in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on January 13, 2018.

No asbestos containing building materials that will need to be removed prior to demolition were identified on the exterior or interior of the building. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: January 13, 2018

NorthStar Environmental Testing, LLC.

David Barrett
Senior Project Manager

Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-802

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APPENDICES

Asbestos Sample Log-In..... 1 Page

NorthStar Certifications..... 2 Pages

NOT FOR BIDDING PURPOSES

January 18, 2018

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	2 Commercial Buildings (Detached Garages) Parcel 182 2316 Post Road Stevens Point, WI 54481
Survey Date:	January 13, 2018
NorthStar No:	170-802

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for 2 commercial buildings (detached garages) located at 2316 Post Road in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	2316 Post Road Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	2 Commercial Buildings (Detached Garages)
Bldg Age:	Construction Date circa 1980
Size:	North Garage: 648 ft ² (footprint) South Garage: 648 ft ² (footprint)
Floors	1
# of Structures:	2
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	January 13, 2018
Comments:	The buildings are typical wood framed structures with wood siding and stone accents; on concrete slab with sloped asphalt roof systems. The interiors are unfinished.

SAMPLING SUMMARY:

Number of Samples:	6
Number Analyzed:	6
Asbestos Materials:	None
Assumed ACM:	Asphalt Roofing Materials
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	1/18/2018 (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing Materials	Exterior Roof North Garage	700 ft ²	Category I non-friable/ Good condition (assumed) On wood
	Exterior Roof South Garage	700 ft ²	

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
North Garage	South Garage
Stone Mortar	Stone Mortar
Exterior Wall Seam Caulk	Exterior Wall Seam Caulk
Masonry Expansion Joint	Masonry Expansion Joint

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447, and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACBM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACBM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certifications

WI Department of Transportation

**Parcel 182
2316 Post Road
Stevens Point, WI**

January 2018

NOT FOR BIDDING PURPOSES

NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services

Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,

conducted by

Lake States Environmental, Ltd.

at

**1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017**

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811



Bob Rogalla - Training Course Manager

Exhibits

ID 6414-00-25 – Parcel 185

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

REMOVE: Parcel 185:

Two-Story (1,681 sq. ft.) single family home with full basement that was converted into a dental clinic. The building consists of wood frame, concrete block and stone and mortar foundation. Exterior finishes consist of vinyl siding and asphalt shingles. Interior finishes include carpeting, tile and wood flooring, painted drywall and drop tile ceilings. Asphalt parking lot, concrete handicap ramp with metal railings, two concrete stoops, concrete walkway, wood fencing, two light posts, two wooden sign posts and sign base. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

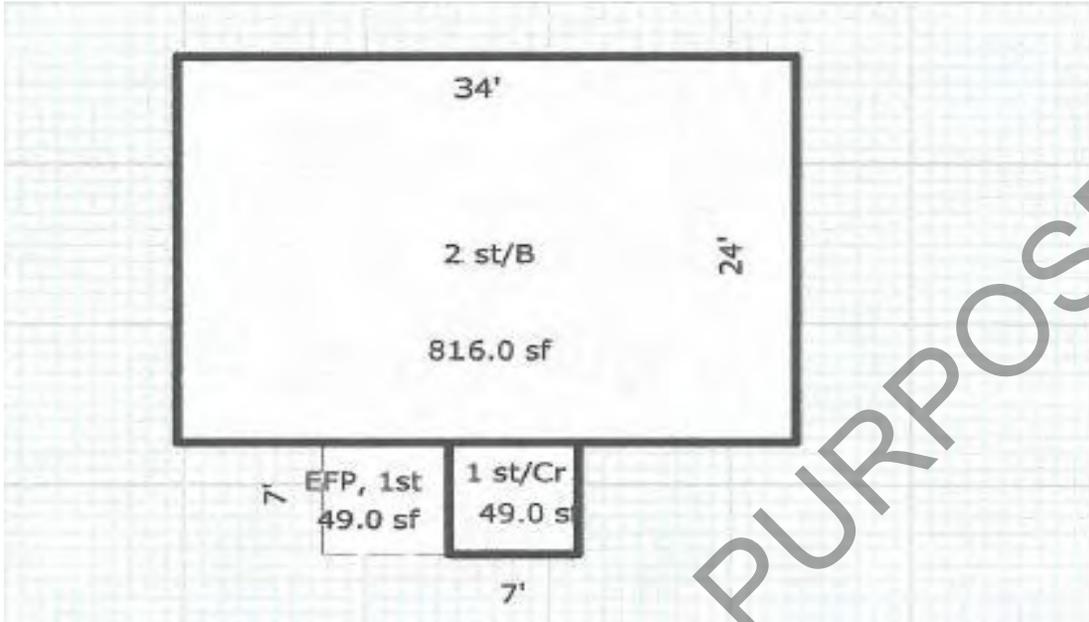
DO NOT REMOVE: The concrete block retaining wall.

GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

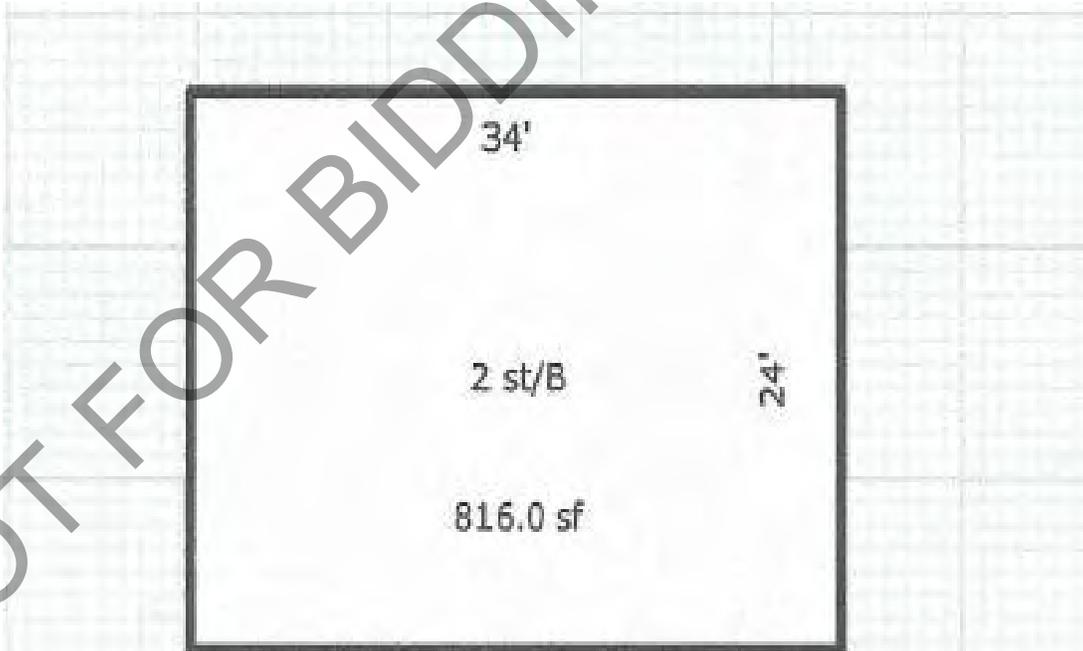
Floor Plan – Following Page(s)

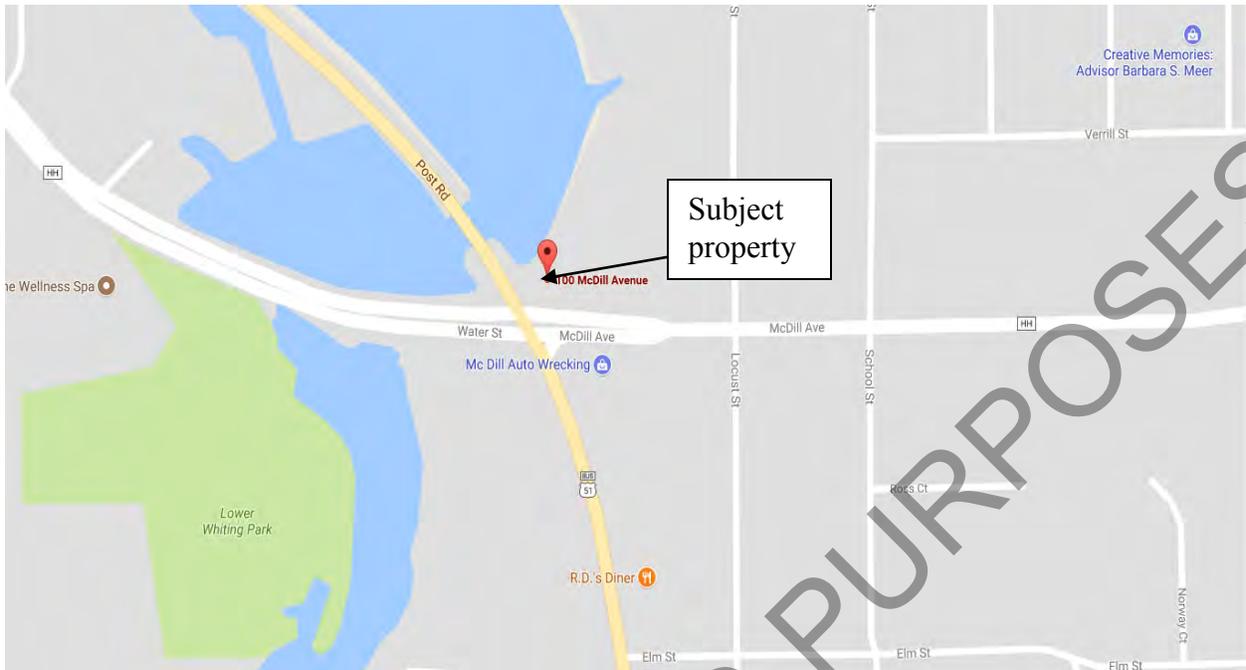
BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.

First Floor



Second Floor









NOT FOR BIDDING PURPOSES

Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site: Parcel 185 Commercial
Building 100 McDill Avenue
Stevens Point, WI 54481

Inspection Date: November 21, 2017
Report Date: November 29, 2017

NorthStar No. 170-802

Submitted By: NorthStar
Environmental Testing, LLC.

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 185
Commercial Building
100 McDill Avenue
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a commercial building located at 100 McDill Avenue in Stevens Point, Wisconsin. The inspection was conducted by Dusty Gaede of NorthStar on November 21, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior of the building. Electrical panel were not sampled and are assumed to contain asbestos and should be removed prior to demolition. Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

Date of Site Visit: November 21, 2017

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Dustin Gaede
Project Technician
All-238193

NorthStar No. 170-802



Central Wisconsin Office:
817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:
1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:
1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

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ASBESTOS RECOMMENDATIONS.....	Page 3
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ANALYTICAL DISCUSSION.....	Page 4
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NorthStar Certifications.....	2 Pages

Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

November 29, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhinelander, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Commercial Building Parcel 185 100 McDill Avenue Stevens Point, WI 54481
Survey Date:	November 21, 2017
NorthStar No:	170-802

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a commercial property located at 100 McDill Avenue in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	100 McDill Avenue Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Commercial Building
Bldg Age:	1950's
Size:	1,900 ft ² (footprint)
Floors	2 plus basement
# of Structures:	1
Inspector:	Dustin Gaede All-238193
Asbestos Company:	CAP-925800
Survey Date:	November 21, 2017
Comments:	The commercial building is a two story wood framed structure with aluminum siding over wood siding; concrete block and field stone foundation; with a sloped asphalt roof system.

SAMPLING SUMMARY:

Number of Samples:	41
Number Analyzed:	41
Asbestos Materials:	Black Sink Undercoating and Pink Sink Undercoating
Assumed ACM:	Asphalt Roofing Materials and Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	11/27/2017 (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
Black Sink Undercoating	Basement	2 ft ²	Category II non-friable/ Good condition
	Black Room	1 each	
	1 st Floor	2 ft ²	
Pink Sink Undercoating	East-Middle Room	1 each	Category II non-friable/ Good condition
*Electrical Panels	Basement	6 ft ²	Category II non-friable/ Good (assumed)
	North Wall	6 panels	

*** Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing Materials	Roof	1,700 ft ²	Category I non-friable/ Good condition/ On Wood (Assumed)

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Textured Paint	Ceiling Tile (2 Types)
Ceramic Floor Tile Grout – Gray	Ceramic Baseboard Grout – White
Ceramic Floor Tile Adhesive (2 Types)	Ceramic Baseboard Adhesive – Brown
9" Floor Tile – Gray	Floor Tile Adhesive – Yellow
Stair Tread Adhesive – Yellow	Felt Paper – Black
Fireplace Brick Mortar – Red	Interior Window Caulk – Beige
Window Glazing – White	Blown In Insulation
Foundation Mortar (2 Types)	Drywall/Joint Compound (Composite)
Plaster – Skim & Base Coat	Exterior Vapor Barrier – Black

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client’s request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

SURVEY LIMITATIONS: (continued)

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACBM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACBM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager



Dustin Gaede
Project Technician

attach: Asbestos Sample Analysis Data
Certification

WI Department of Transportation

**100 McDill Ave
Stevens Point, WI**

November 2017

NOT FOR BIDDING PURPOSES



Central Wisconsin Office:
 817 Oak Ridge Rd
 Mosinee, WI 54455
 Tel: 715.693.6112
 Fax: 715.693.1225

Fox Cities Office:
 1835 E. Edgewood Drive
 Suite 10542
 Appleton, WI 54913
 Tel: 920.422.4888

Madison Office:
 1310 Mendota Street
 Suite 121
 Madison, WI 53714
 Tel: 608.827.6761

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	Wisconsin DOT	NORTHSTAR NO.	170-802
LOCATION:	100 McDill Avenue Stevens Point, WI 54481	DATE COLLECTED:	11/21/2017
WORK AREA:	Pre-Demolition	TECH:	Dustin Gaede

Sample ID	Room / Area Info	Sample Info	Asbestos Content
100-1	Basement	Black – 2'x4' Ceiling Tile	None Detected
100-2	Black Room 1 st Floor	White – 2'x4' Pinhole Fissured Ceiling Tile	None Detected
100-3	West Room 1 st Floor	Gray – Ceramic Floor Tile Grout	None Detected
100-4	Bathroom 1 st Floor	White – Ceramic Baseboard Grout	None Detected
100-5	Bathroom 1 st Floor	Gray – Ceramic Floor Tile Grout	None Detected
100-6	Entry 1 st Floor	Brown – Ceramic Floor Tile Adhesive	None Detected
100-7	Entry 1 st Floor	Yellow – Ceramic Floor Tile Adhesive	None Detected
100-8	Bathroom 1 st Floor	Brown – Ceramic Baseboard Adhesive	None Detected
100-9	Bathroom 2 nd Floor	Gray - 9" Floor Tile	None Detected
100-10	Bathroom 2 nd Floor	Yellow - Flooring Adhesive (On top of floor tile)	None Detected
100-11	Basement	Yellow – Stair Tread Adhesive	None Detected
100-12	Stairway 2 nd Floor	Black - Felt Paper (on wood)	None Detected
100-13	Bathroom 2 nd Floor	Yellow – Floor Tile Adhesive	None Detected
100-14	Bathroom 1 st Floor	Black – Felt Paper (on wood)	None Detected
100-15	West Room		
100-15	Exterior North Wall	Black – Exterior Vapor Barrier	None Detected
100-16	Basement Exterior Foundation Walls	Textured Paint (on stone foundation)	None Detected
100-17	Basement Exterior Foundation Walls	Textured Paint (on stone foundation)	None Detected
100-18	Basement	Textured Paint (on boiler pipes)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17	Page:	1 of 3
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ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	Wisconsin DOT	NORTHSTAR NO.	170-802
LOCATION:	100 McDill Avenue Stevens Point, WI 54481	DATE COLLECTED:	11/21/2017
WORK AREA:	Pre-Demolition	TECH:	Dustin Gaede

Sample ID	Room / Area Info	Sample Info	Asbestos Content
100-19	1 st Floor Reception Area	Textured Paint (on ceiling)	None Detected
100-20	1 st Floor W. Room Hallway	Textured Paint (on ceiling)	None Detected
100-21	Basement	Black – Sink Undercoating	None Detected
100-22	Basement Black Room	Black - Sink Undercoating	Chrysotile 2%
100-23	1st Floor East – Middle Room	Pink – Sink Undercoating	Chrysotile 5%
100-24	1 st Floor Reception Area	Red – Fireplace Brick Mortar	None Detected
100-25	Basement	Beige – Interior Window Caulk (on wood)	None Detected
100-26	Attic West Window	White – Window Glazing	None Detected
100-27	Attic	Blown In Insulation	None Detected
100-28	Basement North Wall	Interior Foundation Mortar	None Detected
100-29	Basement South Wall	Interior Foundation Mortar	None Detected
100-30	Basement West Wall	Interior Foundation Mortar	None Detected
100-31	Exterior North Wall	Exterior Foundation Mortar	None Detected
100-32	Exterior East Wall	Exterior Foundation Mortar	None Detected
100-33	Exterior South Wall	Exterior Foundation Mortar	None Detected
100-34	1 st Floor West Room Hallway	Drywall/Joint Compound Composite	None Detected
100-35	1 st Floor North East Room	Drywall/Joint Compound Composite	None Detected
100-36	2 nd Floor Hallway	Plaster Skim Coat	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17	Page:	2 of 3
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NorthStar Environmental Testing, LLC

ASBESTOS BULK SAMPLE LOG-IN

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



Milwaukee Lead/Asbestos Information Center

A division of Midwest Certified Training, Inc.
3495 North 124th Street, Brookfield, WI 53005 Phone: 414-481-9070



Dustin Phillip Gaede

Has attended and successfully completed a course on March 7-9, 2017 and satisfactorily passed examination with a minimum score of 70 percent, that meets all criteria for the State of Wisconsin Accreditation as an

Asbestos Inspector Initial Course

COPY

Date of Course: March 7-9, 2017

Date Of Examination: March 9, 2017

Date of Expiration: March 9, 2018

Certification Number: A1117030756887

Location: Milwaukee Lead/Asbestos Information Center, 3495 North

DCQ Course ID #: **8815**

This training course complies with the requirements of TSCA Title II and is accredited by the State of Wisconsin under ch. DHS 159, Wis. Admin. Code.

Boyd Early

Director of Milwaukee Lead/Asbestos Information Center, Inc.
3495 North 124th Street
Brookfield, WI 53005
414-481-9070

		ASBESTOS INSPECTOR Issued By STATE OF WISCONSIN Dept. of Health Services Dustin Phillip Gaede 417 Verrill St Stevens Point, WI 54481-6040
AII-238193	Exp: 03/09/2018	145 lbs 5' 11" Male

NOT FOR BIDDING PURPOSES

Exhibits

ID 6414-00-25 – Parcel 192

Removal, Grading, Backfill

Location Map

Photos

Asbestos Inspection Report

NOT FOR BIDDING PURPOSES

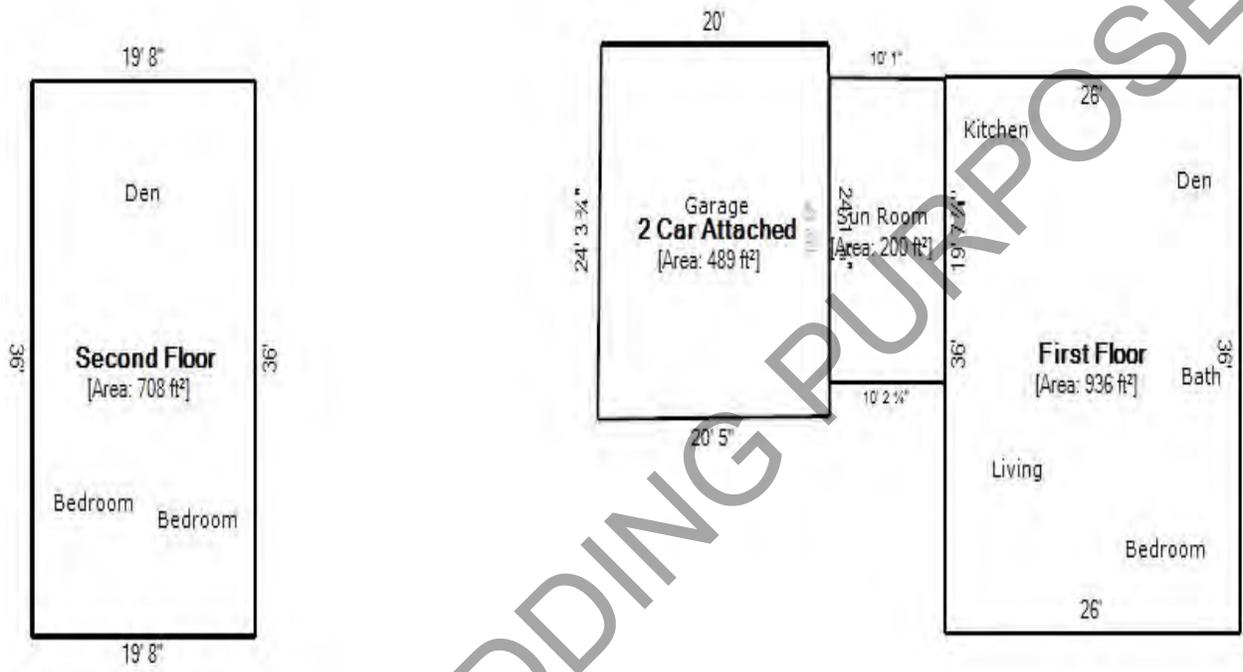
REMOVE: Parcel 192:

One and a half story (1,638 sq. ft.) single family home and breezeway with a full partially finished basement and 2-car attached garage (500 sq. ft.). The single family home consists of wood frame, concrete block and stone masonry foundation. Exterior finishes consist of aluminum siding, asphalt shingles, brick chimney, brick entry way and facade. Interior finishes include carpeting and linoleum flooring, painted drywall and tongue and groove wood paneling. Concrete driveway, concrete walkway, concrete and brick front stoop with metal railing and brick retaining wall. Miscellaneous fencing and any other debris present. Basement wall, floors and footing, if present, must be removed in their entirety and hauled from site. Asbestos must be removed pursuant to Article 15 of the Special Provisions. The present sanitary system and water system are to be abandoned in accordance with current statues, ordinances, and regulations.

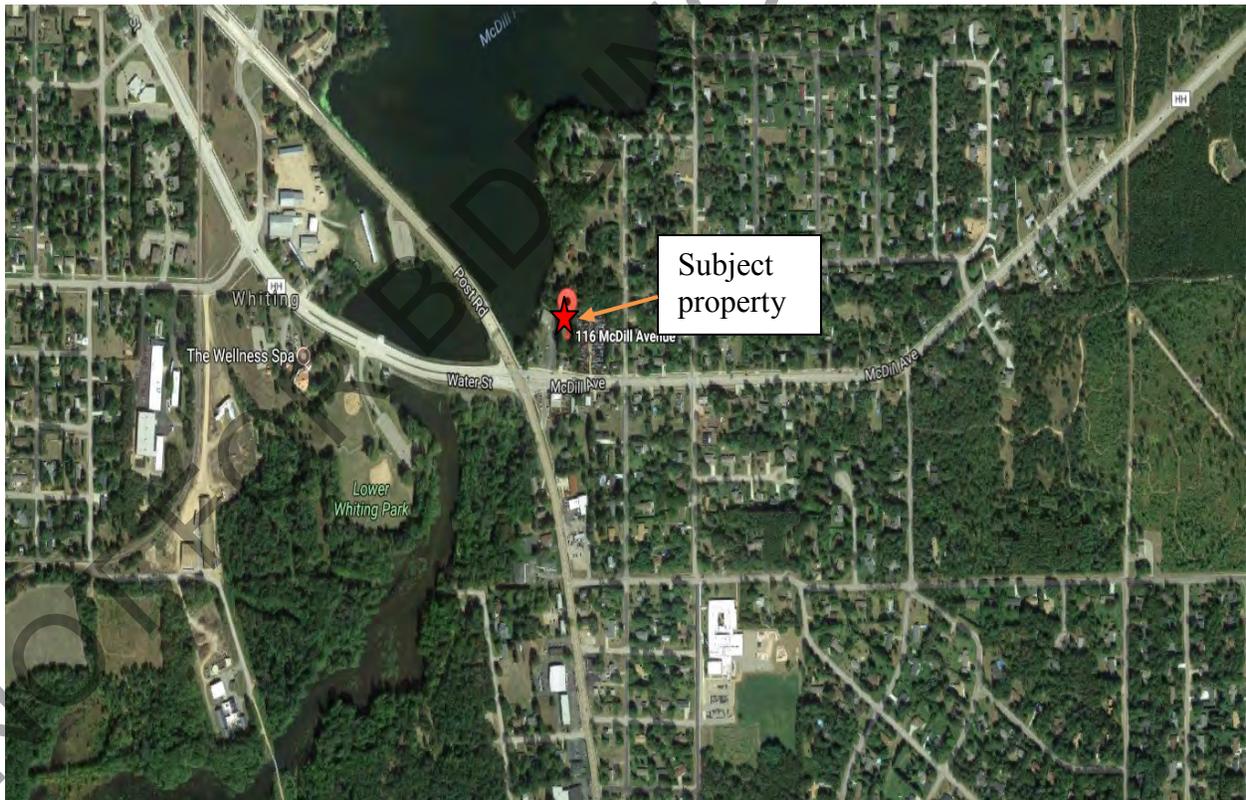
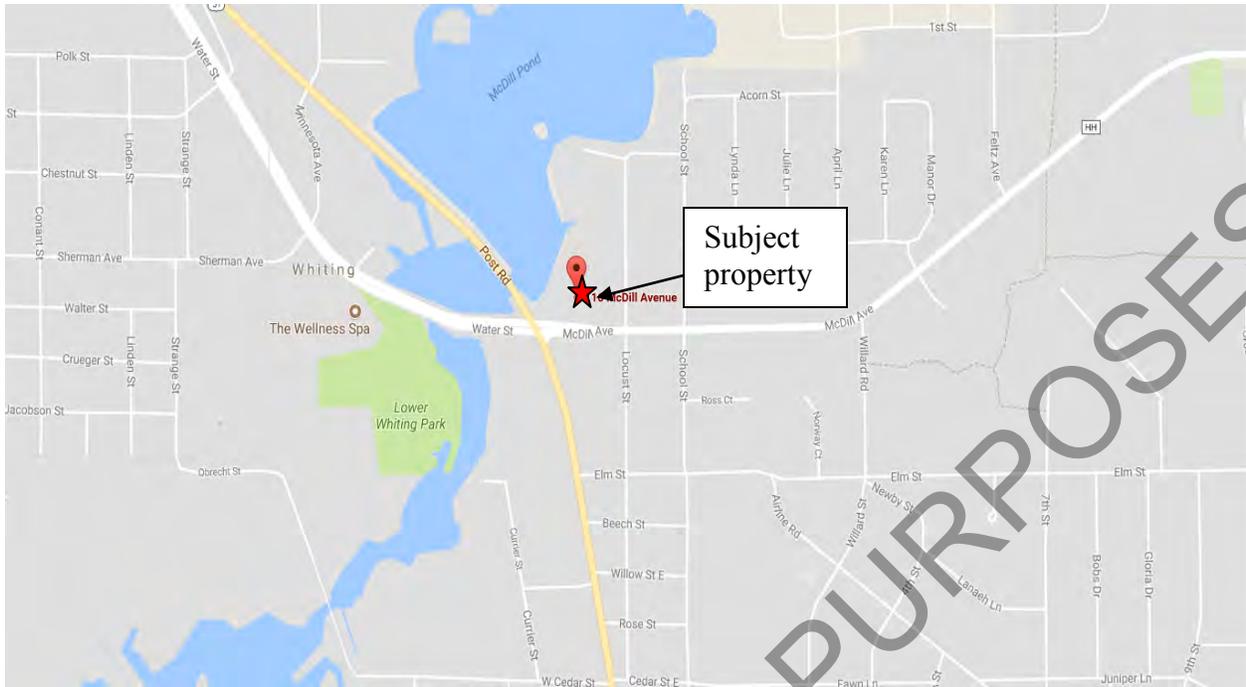
GRADING: As directed by the State Department of Transportation inspector. Reference Special Provisions – Article 2-Item #5.

Floor Plan – Following Page(s)

BACKFILL: Reference subsection 204.3.1.2 of the Standard Specifications; Septic Tank- Granular Material; Well- Concrete or other Material Acceptable to Wisconsin Department of Natural Resources.



NOT FOR BIDDING PURPOSES





Remove retaining wall during razing



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

PRE-DEMOLITION INSPECTION: ASBESTOS

Wisconsin Department of Transportation

Site: Parcel 192
Residential Building 116
McDill Avenue
Stevens Point, WI 54481

Inspection Date: November 20, 2017
Report Date: November 30, 2017

NorthStar No. 170-802

Submitted By: NorthStar
Environmental Testing, LLC.



Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
Fax: 715.693.1225

Fox Cities Office:

1835 E. Edgewood Drive
Suite 10542
Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

November 30, 2017

Prepared For:

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

**Reference: Pre-Demolition Asbestos Inspection
Parcel 192
Residential Building
116 McDill Avenue
Stevens Point, WI 54481**

NorthStar Environmental Testing, LLC (NorthStar) was contracted by Ms. Patricia Massino of the Wisconsin Department of Transportation to complete an inspection for the presence of asbestos materials prior to demolition of a residential building located at 116 McDill Avenue in Stevens Point, Wisconsin. The inspection was conducted by Jamie Brzezinski of NorthStar on November 20, 2017.

Asbestos containing building materials that will need to be removed prior to demolition were identified on the interior of the building. **Electrical panels were not sampled and are assumed to contain asbestos and should be removed prior to demolition.** Please see specific areas of the report for material detail.

Prepared by:
NorthStar Environmental Testing, LLC.
817 Oak Ridge Road
Mosinee, WI 54433

Provided to:
Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Date of Site Visit: November 20, 2017

NorthStar Environmental Testing, LLC.

A handwritten signature in black ink, appearing to read "David Barrett", written over a horizontal line.

David Barrett
Senior Project Manager

A handwritten signature in black ink, appearing to read "Jamie Brzezinski", written over a horizontal line.

Jamie Brzezinski
Project Manager
All-181559

NorthStar No. 170-802

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Central Wisconsin Office:

817 Oak Ridge Rd
Mosinee, WI 54455
Tel: 715.693.6112
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Appleton, WI 54913
Tel: 920.422.4888

Madison Office:

1310 Mendota Street
Suite 121
Madison, WI 53714
Tel: 608.827.6761

November 30, 2017

Ms. Patricia Massino
Wisconsin Department of Transportation
510 Hanson Lake Road
Rhineland, WI 54501

Project:	Pre-Demolition Asbestos Inspection
Site Address:	Residential Building Parcel 192 116 McDill Avenue Stevens Point, WI 54481
Survey Date:	November 20, 2017
NorthStar No:	170-802

INTRODUCTION:

NorthStar Environmental Testing, LLC (NorthStar) was authorized by Ms. Patricia Massino to conduct a pre-demolition inspection for the presence of accessible suspect asbestos containing materials (ACM) for a residential property located at 116 McDill Avenue in Stevens Point, WI.

The purpose of the inspection was to determine if ACMs are present in the structure prior to demolition of the building.

INSPECTION SUMMARY:

Site Address:	116 McDill Avenue Stevens Point, WI 54481
County:	Portage
DNR Region:	West Central
Structure Type:	Residential Building w/ Attached Garage
Bldg Age:	Construction Date circa 1941
Size:	2,100 ft ² (footprint)
Floors	2 plus a basement
# of Structures:	1
Inspector:	Jamie Brzezinski All-181559
Asbestos Company:	CAP-925800
Survey Date:	November 20, 2017
Comments:	The building is a typical wood framed structure; stone and metal siding on wood exterior; fiberglass batt and blown-in insulation; field stone foundation; with a sloped asphalt shingle roof system.

SAMPLING SUMMARY:

Number of Samples:	32
Number Analyzed:	32
Asbestos Materials:	Duct Wrap Insulation, Duct Panel Insulation, Duct Seam Tape, & Sink Undercoating – Black
Assumed ACM:	Asphalt Roofing Materials, Exterior Window Caulk, & Electrical Panels
Laboratory:	CEI Labs, Inc. NVLAP: 101768-0
Analysis Dates:	11/27/2017 (reported)

The attached laboratory analysis report gives complete sample analysis data.

ASBESTOS MATERIAL SUMMARY:

Confirmed ACBM, or presumed ACBM that will require abatement prior to disturbance:

Material	Building Area	Quantity (approx)	Comment/Condition
*Electrical Panels	Basement & Garage Attic	5 each or 5 ft ²	Category II non-friable/ Good condition (assumed)
Duct Wrap Insulation	First Floor: Throughout	12 ft ²	Friable/ Good Condition/ On Metal Vent Boots
Duct Panel Insulation	First Floor: Throughout	10 ft ²	Friable/ Good Condition/ Cold Air Return Ducts
Duct Seam Tape	Basement	6 ft ²	Friable/ Good Condition/ On Round Metal Ducts
Sink Undercoating – Black	Kitchen	4 ft ²	Category II non-friable/ Good condition

*** Electrical panels, boxes or components were not sampled due to potential electrical hazard. These components should be assumed to be asbestos containing unless sampled to prove otherwise.**

Non-friable, or presumed ACBM, in good condition, on concrete floors or substrates that may remain in place during mechanical demolition process **unless the concrete is going to be recycled or crushed:**

Material	Building Area	Quantity (approx)	Comment/Condition
None			

Non-friable, or presumed ACBM, in good condition, on wood or metal substrates that may remain in place during mechanical demolition process:

Material	Building Area	Quantity (approx)	Comment/Condition
Asphalt Roofing Materials	Exterior Roof	2,100 ft ²	Category I non-friable/ Good condition (assumed) On wood
Exterior Window Caulk	Exterior	15 each or 15 ft ²	Category I non-friable/ Good condition (assumed) On metal

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by the building owner or an abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

The following materials were found to be **non-asbestos** or **less than 1%** by PLM analysis:

Non-ACM Materials	
Window Glazing (3 Types)	Vinyl Sheet Flooring – Gray/Tan Square
Ceiling Tile (2 Types)	Wall Seam Caulk
4" Vinyl Baseboard – Tan	Baseboard Adhesive – Tan
Wall Texture	Drywall/Joint Compound (Composite)
Stone Mortar (2 Types)	Fire Brick
Vapor Barrier – Brown	Fiberboard Ceiling Panel
Plaster – Base & Skim Coats	Textured Peeling Paint

ASBESTOS RECOMMENDATIONS:

All friable ACBM as well as non-friable ACBM that would likely be made friable by intended renovation or demolition processes are required to be abated prior to disturbance.

Non-friable ACBM (confirmed or assumed) remaining during demolition must be disposed of properly as demolition debris at an approved landfill. Non-friable materials typically require abatement prior to any material recycling procedure. For any building that will be subject to burning, all confirmed and presumed ACBM must be removed.

Abatement shall be performed by an abatement company utilizing trained and certified worker/supervisor and further licensed as an asbestos company by the Wisconsin Department of Health Service (DHS), asbestos regulation 159. Refer to Wisconsin Department of Natural Resources (WDNR) 447; and DHS 159 for complete information on requirements for asbestos abatement and asbestos material disposal.

SURVEY LIMITATIONS:

Sample results, quantities and recommendations are for areas of the building that were accessible to us during the investigation. Additional presumed-ACBM that may have been located in spaces not accessible during our investigation, hidden from view, or not sampled at the client's request may require additional sampling prior to disturbance by renovation or demolition activity.

Areas that were inaccessible and not sampled during the investigation may include: certain wall or ceiling cavities; electrical components/wiring; gasket material; fire door interiors; boiler, tank, and vessel interiors; equipment components and interiors; chimneys/flues/stacks; spaces requiring confined space entry procedures; structurally unsafe areas; isolated or inaccessible building areas; underground or buried components; and mechanical spaces or equipment that would require extensive demolition or dismantling to provide adequate access for material identification or sampling.

Roofing materials including built-up and membrane roofs, and associated flashings and coatings were assumed to contain asbestos according to project scope.

Additional materials not accessible and not sampled during the survey included items such as miscellaneous caulking, sealants and construction adhesives that were not readily accessible to sample (may have been located between layers of building components). These materials are typically non-friable in nature but may require further sampling to confirm or deny the presence of asbestos.

SURVEY LIMITATIONS CONTINUED:

Building materials or substrates that were exempted from sampling may have included wood, concrete, glass, fiberglass and metal materials. Materials that were sampled and if found to contain less than one percent (<1%) of asbestos were not quantified.

Additional presumed ACM encountered during renovation or demolition activity that differs from materials sampled or described during this survey must be assumed to contain asbestos and be abated or be sampled to determine asbestos content prior to disturbance.

Material quantities are listed according to visible estimates at the time of the survey. It is recommended that all quantities be further verified by building owner or abatement contractor prior to project design, bidding, budgeting and/or DNR notification purposes.

ANALYTICAL DISCUSSION:

Bulk sample analysis for asbestos was performed by polarized light microscopy (PLM); method EPA 600/r-93-116. Samples showing a result of "None Detected" were found to contain no asbestos in any analyzed portion of the sample.

USEPA defines an ACM as one that contains greater than one percent asbestos. For a sample result showing less than one percent (<1%) of asbestos, the material can be may be treated as a non-asbestos containing material. The building owner or client should be aware that exposure to asbestos is still possible following disturbance of material with a trace or <1% of asbestos present and that worker protection procedures may be necessary.

REMARKS:

The survey and subsequent report has been performed according to applicable regulations and generally accepted industry standards and practices in this locality under similar conditions. Information provided to us by the building owner/occupant, client or other interested party that may have been utilized in the performance and reporting of the survey was accepted in good faith and can only be assumed to be accurate. The findings and recommendations made are representative of our professional opinion based on currently available information; no other warranty is implied or intended.

Please contact us if you have any questions regarding the presented information or the project in general.

Sincerely,

NorthStar Environmental Testing, LLC.



David Barrett
Senior Project Manager


Jamie Brzezinski
Project Manager

attach: Asbestos Sample Analysis Data
Certification

WI Department of Transportation

**Parcel 192
116 McDill Avenue
Stevens Point, WI**

November 2017

NOT FOR BIDDING PURPOSES

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.:	170-802
LOCATION:	116 McDill Avenue Stevens Point, WI	DATE COLLECTED:	11/20/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
116-1	Kitchen Vent Boot	Duct Wrap Insulation – Gray (on metal)	Chrysotile 65%
116-2	Kitchen Cold Air Return	Duct Panel Insulation – Gray/Black	Chrysotile 25%
116-3	Basement	Duct Seam Tape – White	Chrysotile 65%
116-4	Kitchen	Sink Undercoating – Black	Chrysotile 5%
116-5	Exterior	Basement Storm Window Glazing	None Detected
116-6	Exterior	Circular Window Glazing	None Detected
116-7	Exterior	Window Glazing – Garage	None Detected
116-8	Kitchen	Vinyl Sheet Flooring – Gray/Tan Square	None Detected
116-9	Basement Bathroom	2'x2' Pinhole Ceiling Tile	None Detected
116-10	Basement Storage	2'x2' Textured Ceiling Tile	None Detected
116-11	Exterior	Wall Seam Caulk (on metal/stone)	None Detected
116-12	Kitchen	4" Vinyl Baseboard – Tan	None Detected
116-13	Kitchen	Baseboard Adhesive – Tan	None Detected
116-14	Entry	Wall Texture (on drywall)	None Detected
116-15	Bathroom	Wall Texture (on drywall)	None Detected
116-16	2 nd Floor East Bedroom	Wall Texture (on drywall)	None Detected
116-17	Entry	Drywall/Joint Compound (Composite)	None Detected
116-18	2 nd Floor West Bedroom	Drywall/Joint Compound (Composite)	None Detected
Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17 (reported)
		Page:	1 of 2

ASBESTOS BULK SAMPLE LOG-IN

CLIENT:	WI DOT	NORTHSTAR NO.	170-802
LOCATION:	116 McDill Avenue Stevens Point, WI	DATE COLLECTED:	11/20/17
WORK AREA:	Pre- Demolition	TECH:	Jamie Brzezinski

Sample ID	Room / Area Info	Sample Info	Asbestos Content
116-19	Living Room	Stone Mortar	None Detected
116-20	Living Room	Fire Brick	None Detected
116-21	Exterior	Stone Mortar	None Detected
116-22	Exterior	Vapor Barrier – Brown	None Detected
116-23	Basement	Fiberboard Ceiling Panel	None Detected
116-24	Basement Stairs	Plaster – Base Coat	None Detected
116-25	Basement Stairs	Plaster – Skim Coat	None Detected
116-26	Kitchen	Plaster – Base Coat	None Detected
116-27	Kitchen	Plaster – Skim Coat	None Detected
116-28	First Floor Bedroom	Plaster – Base Coat	None Detected
116-29	First Floor Bedroom	Plaster – Skim Coat	None Detected
116-30	Basement Floor	Textured Peeling Paint (on concrete)	None Detected
116-31	Basement Wall	Textured Peeling Paint (on concrete block)	None Detected
116-32	Basement Wall	Textured Peeling Paint (on concrete block)	None Detected

Lab Info:	CEI Labs, Inc.	Date Analyzed:	11/27/17 (reported)	Page:	2 of 2
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NorthStar Environmental Testing, LLC

NOT FOR BIDDING PURPOSES

Company Certification

This certifies that

NORTHSTAR ENVIRONMENTAL TESTING LLC

**817 OAK RIDGE RD
MOSINEE WI 54455-8672**

is certified under ch. DHS 159, Wis. Adm. Code as a

Asbestos Company - Primary

Certificate Issue Date: 06/06/2017

Expiration Date: 08/01/2019, 12:01 a.m.

Certification #: CAP-925800

Wisconsin Department of Health Services
Division of Public Health
Bureau of Environmental and Occupational Health
Asbestos & Lead Section
PO Box 2659
Madison WI 53701-2659
Phone: (608) 261-6876

COPY



Shelley A Bruce

Shelley A Bruce,
Unit Supervisor



COPY

ASBESTOS INSPECTOR
Issued By
STATE OF WISCONSIN
Dept. of Health Services

Jamie Lynn Brzezinski
3342 Bentley Rd
Custer WI 54423-9678

AI-181559	Exp. 02/24/2018	140 lbs	5' 06"
Training due by: 02/24/2018		06/05/1985	Female



Certificate No: 5LW02241705IR
Issue Date: February 27, 2017
Expiration Date: February 24, 2018

This diploma is awarded to
Jamie L. Brzezinski
for successfully completing and passing the examination for the

**ASBESTOS INSPECTOR
REFRESHER TRAINING COURSE**

This training course complies with the requirements of TSCA Title II
and is accredited by the State of Wisconsin, Department of Health Services,
under chapter DHS 159, Wis. Admin. Code,

conducted by

Lake States Environmental, Ltd.

at

1616 Crestview Dr, Hudson, WI on February 24, 2017
Examination Date: February 24, 2017

Lake States Environmental, Ltd
P. O. Box 645, Rice Lake, WI 54868
(800) 254-9811

Bob Rogalla - Training Course Manager

NOT FOR BIDDING PURPOSES

Exhibits

ID 6414-00-25 – Project Wide

Tree Removal

Plan Sheets

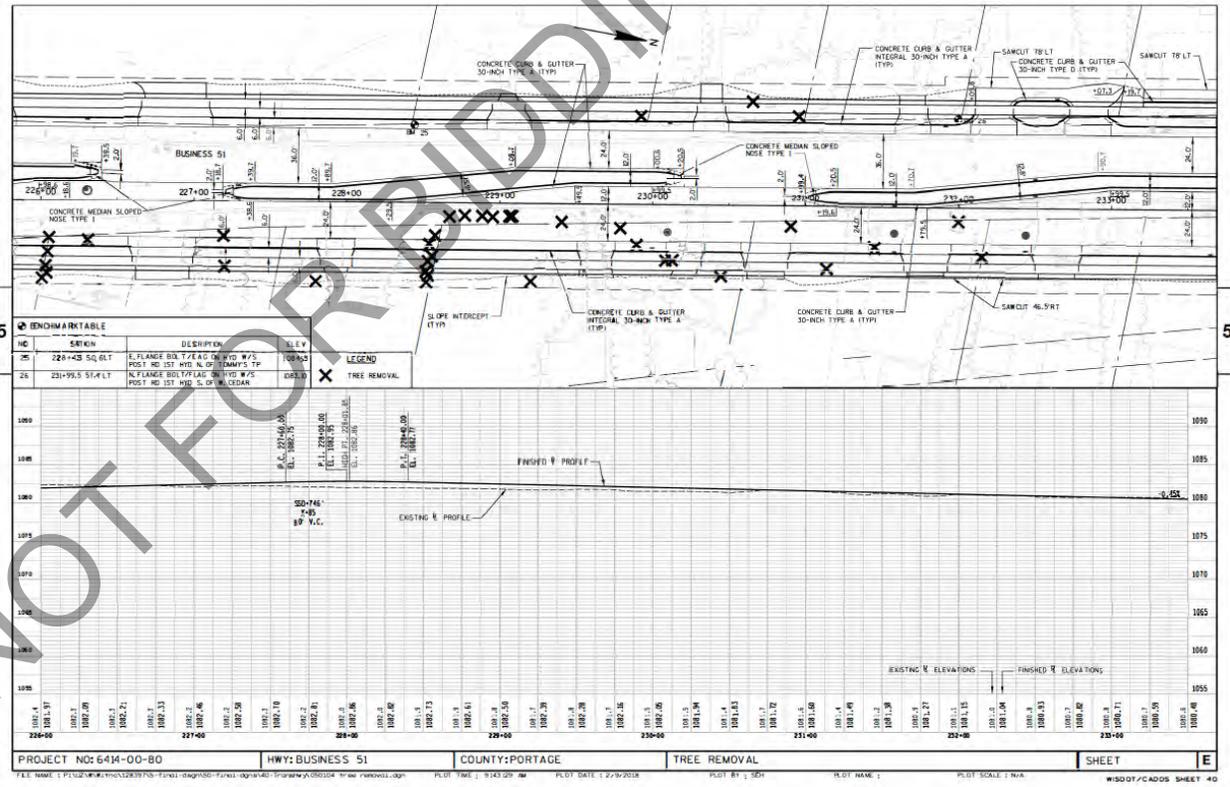
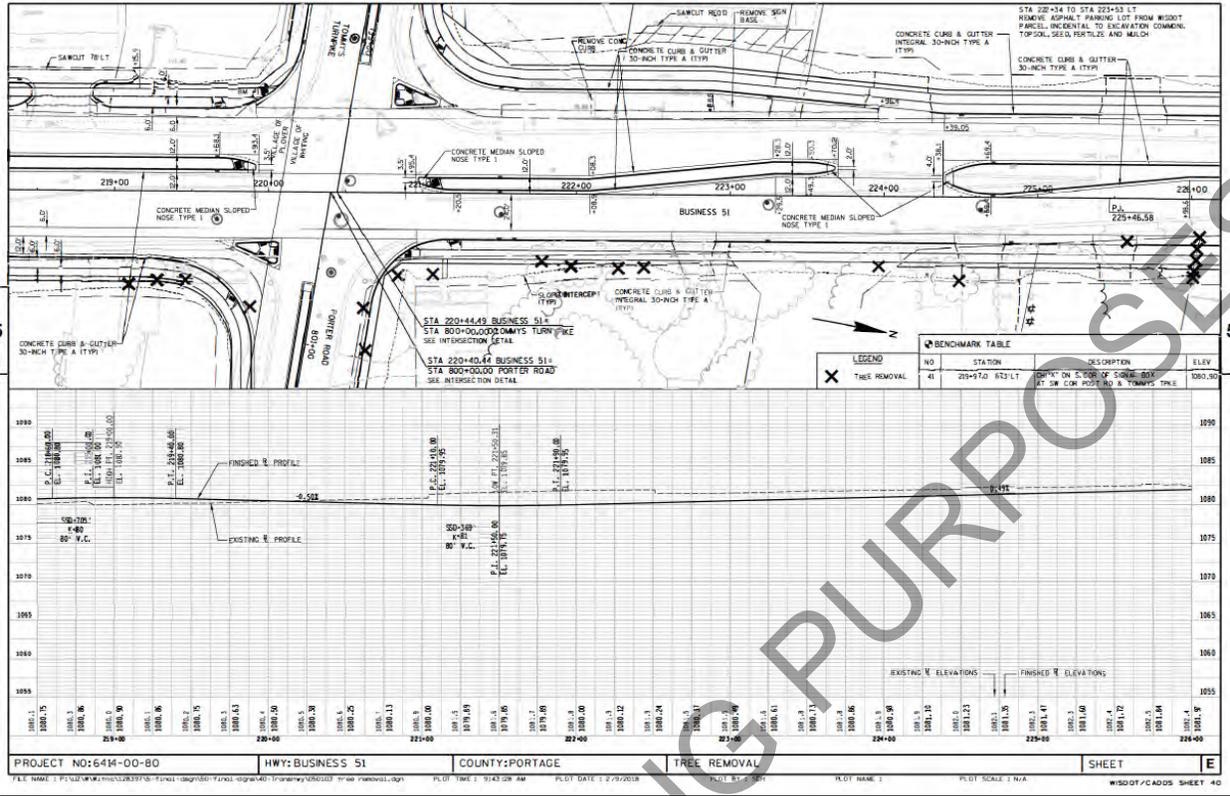
NOT FOR BIDDING PURPOSES

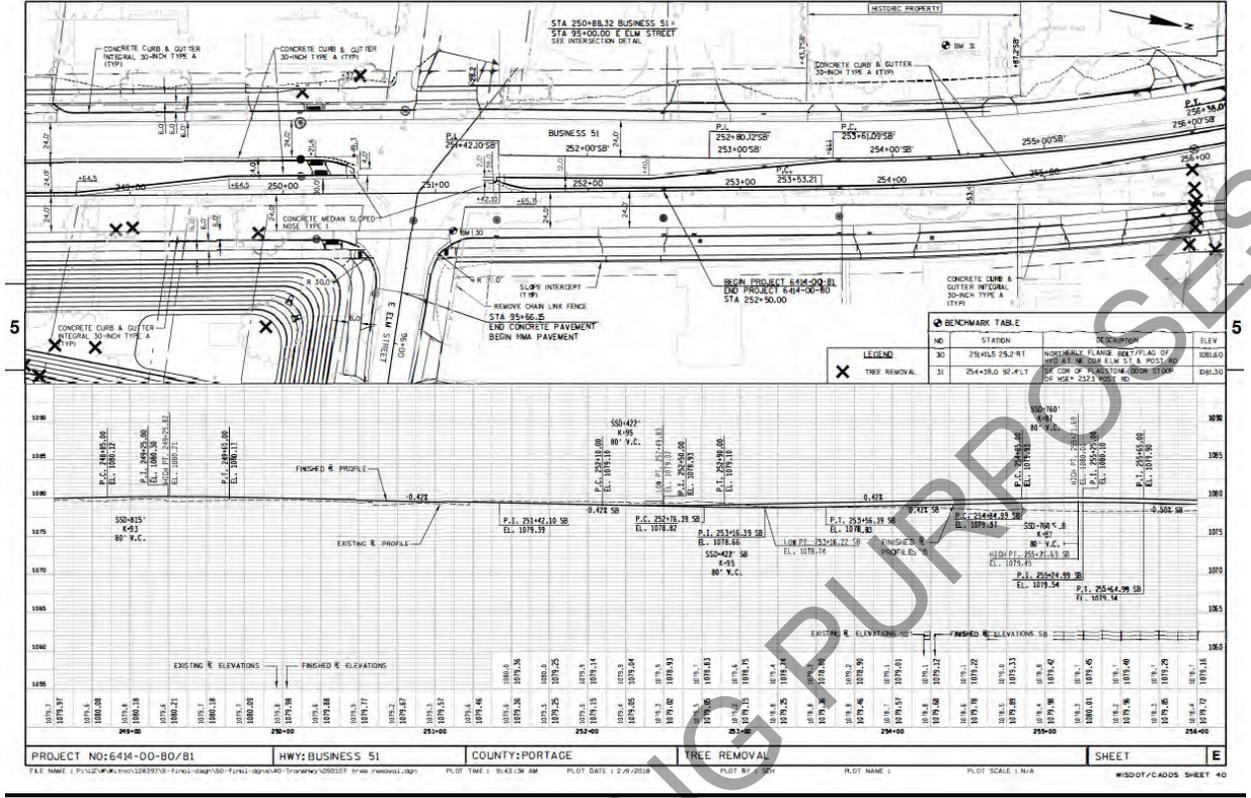
REMOVE: Parcel 192:

Remove and dispose of all trees within the 35 stations as indicated in the Clearing Items spreadsheet below and further identified on the plans in the Tree Removal exhibit to this contract.

CLEARING ITEMS

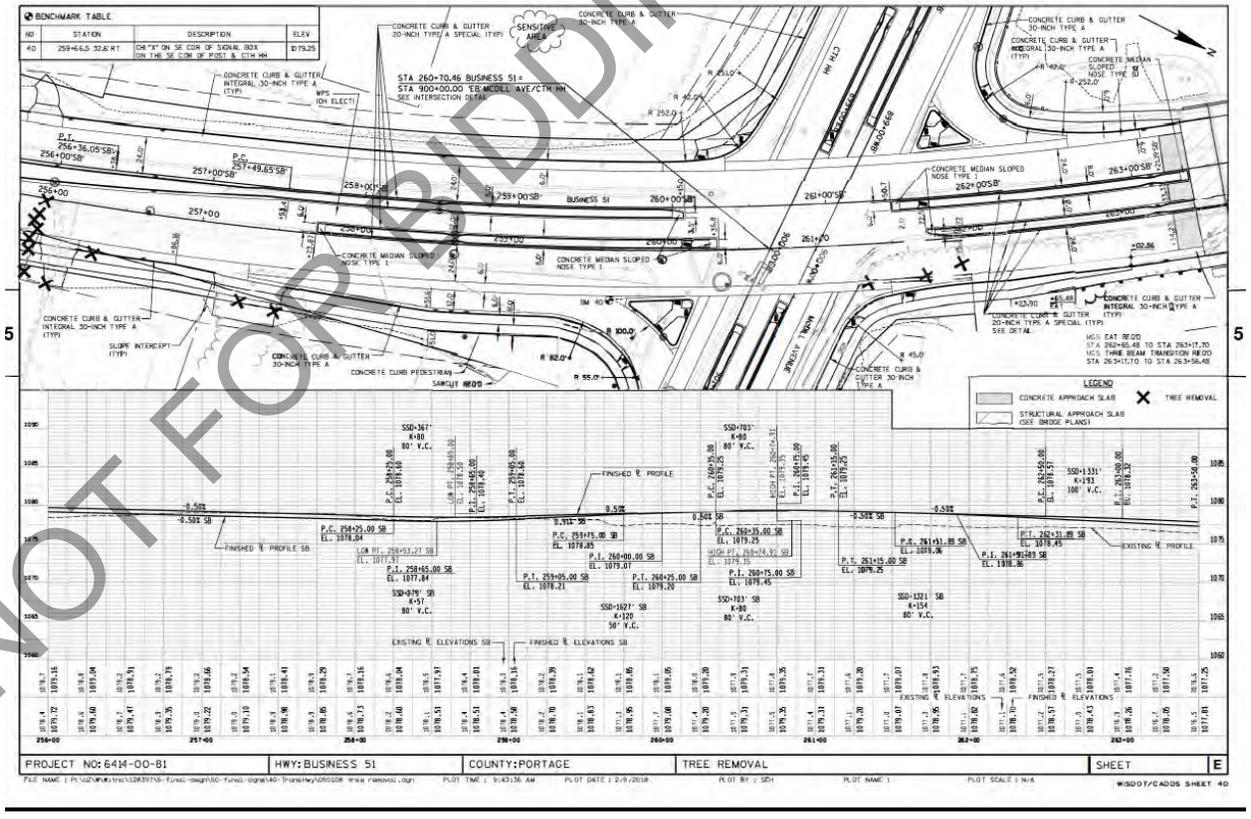
STATION - STATION	LOCATION	201.0105 CLEARING STA
BUS 51		
216+75 - 217+75	RT	1
219+00 - 220+00	RT	1
220+50 - 222+50	RT	2
223+50 - 224+50	RT	1
225+50 - 226+50	RT	1
227+20 - 232+20	RT	5
229+50 - 231+50	LT	2
234+00 - 238+00	RT	4
239+50 - 242+50	RT	3
243+00 - 245+00	RT	2
248+00 - 250+00	RT	2
250+00 - 251+00	LT	1
255+50 - 257+50	RT	2
261+00 - 262+00	RT	1
PORTER ROAD		
800+50 - 802+50	LT & RT	2
E CEDAR STREET		
85+00 - 86+00	RT	1
88+00 - 90+00	RT	2
BEECH STREET		
20+50 - 21+50	RT	1
WILLOW STREET (E)		
91+00 - 92+00	RT	1
ITEM TOTAL		35





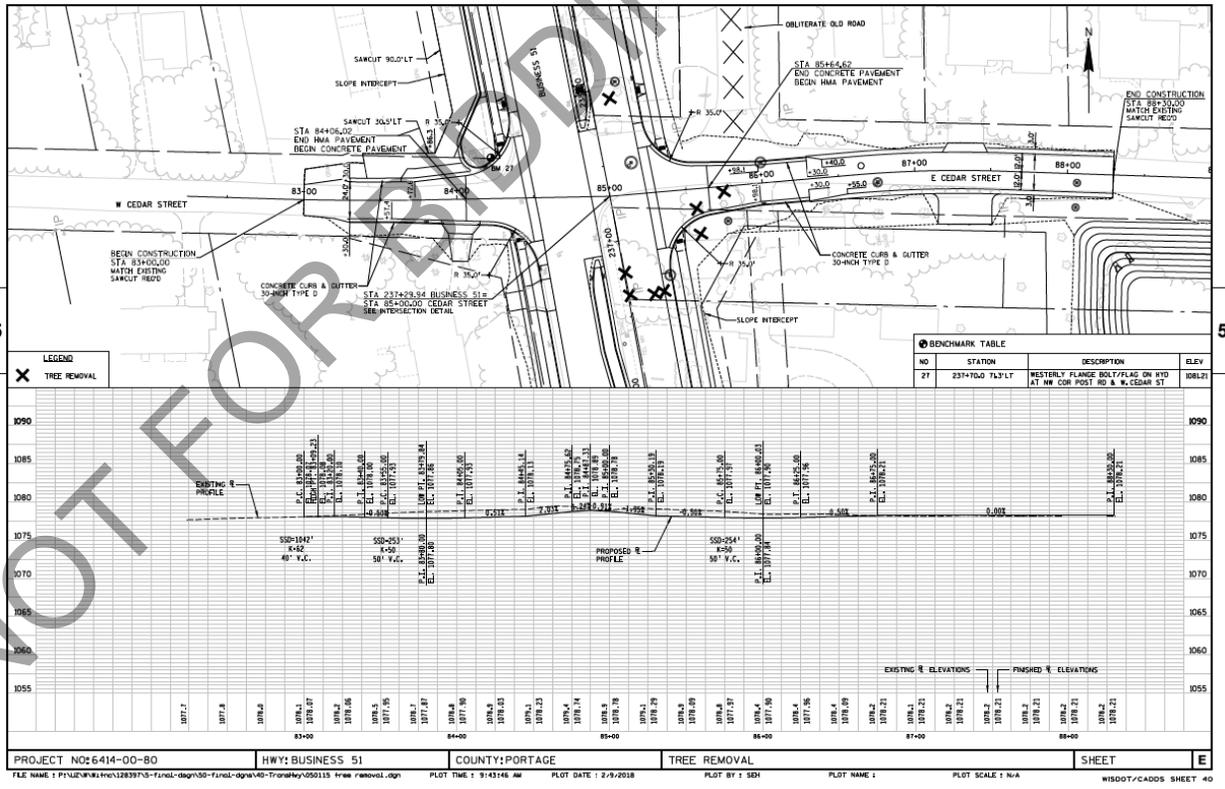
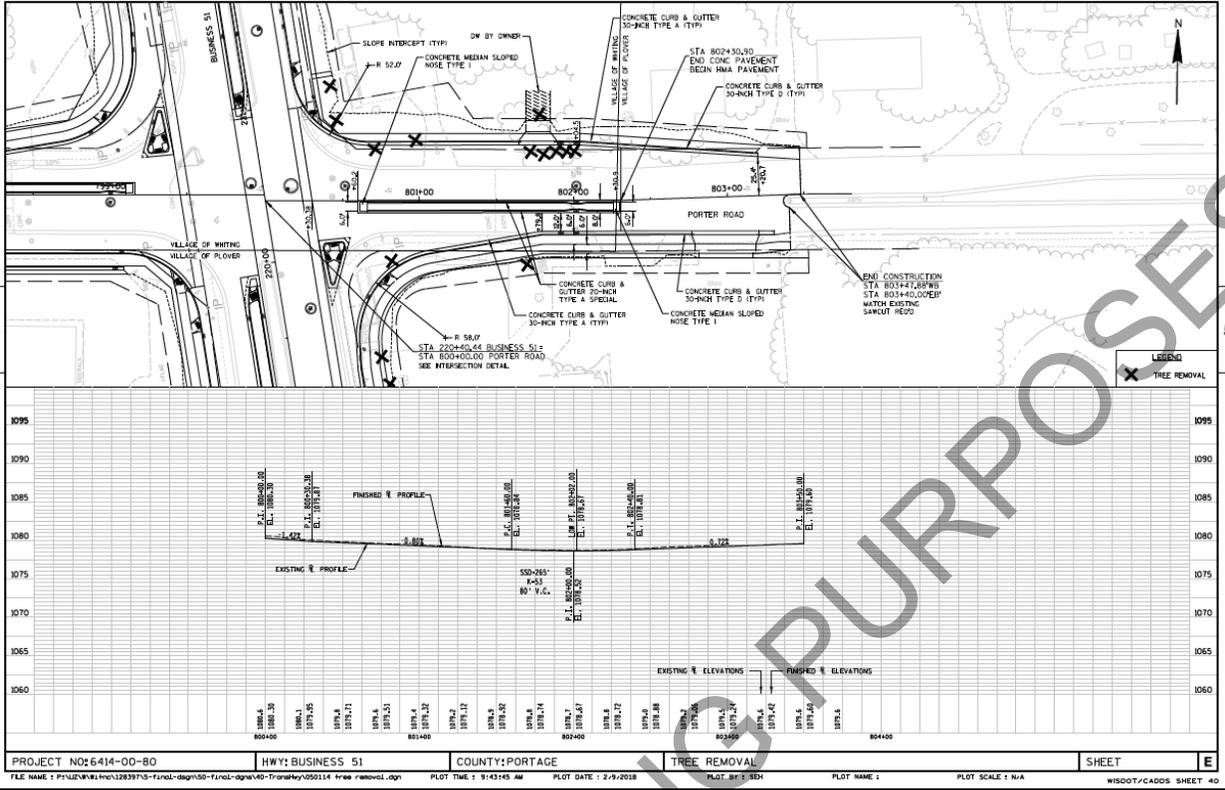
PROJECT NO: 644-00-80/81 HWY: BUSINESS 51 COUNTY: PORTAGE TREE REMOVAL SHEET 5

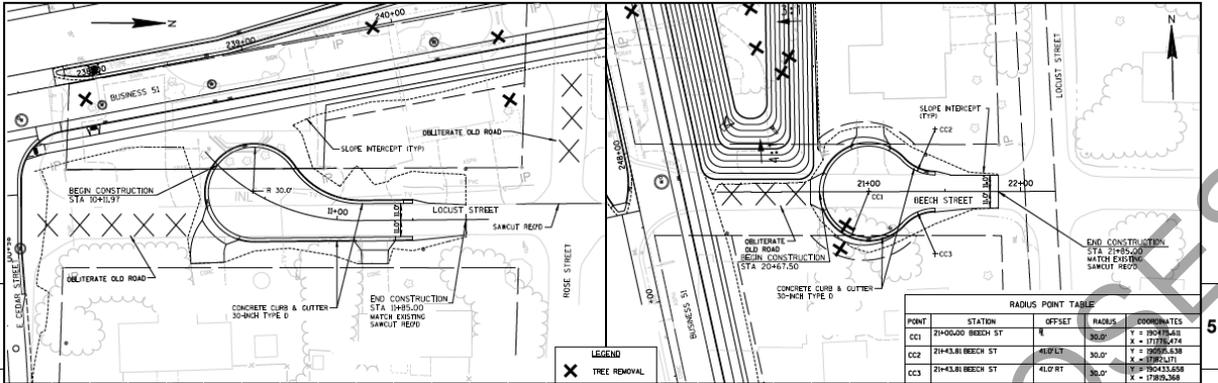
FILE NAME: P:\2024\644-00-80\81\644-00-80-81.dwg PLOT TIME: 3:43:38 AM PLOT DATE: 2/2/2025 PLOT BY: SBT PLOT NAME: PLOT SCALE: 1/4"=1'



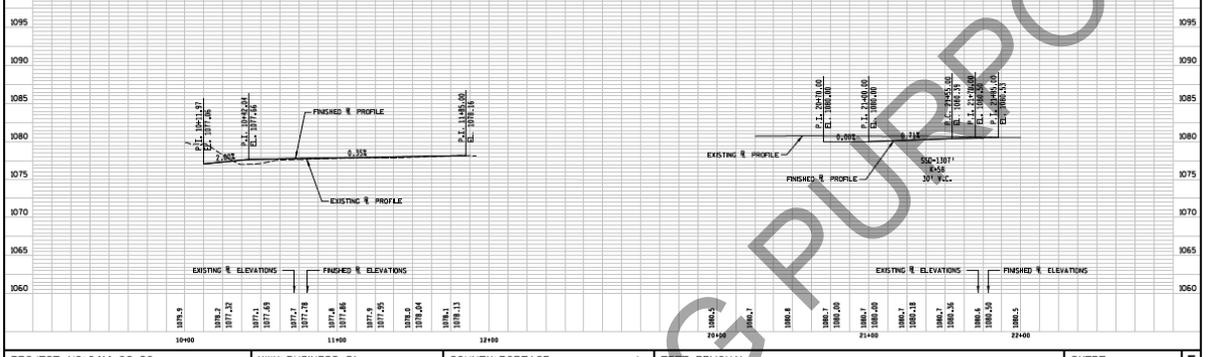
PROJECT NO: 644-00-81 HWY: BUSINESS 51 COUNTY: PORTAGE TREE REMOVAL SHEET 6

FILE NAME: P:\2024\644-00-80\81\644-00-81.dwg PLOT TIME: 3:43:38 AM PLOT DATE: 2/2/2025 PLOT BY: SBT PLOT NAME: PLOT SCALE: 1/4"=1'

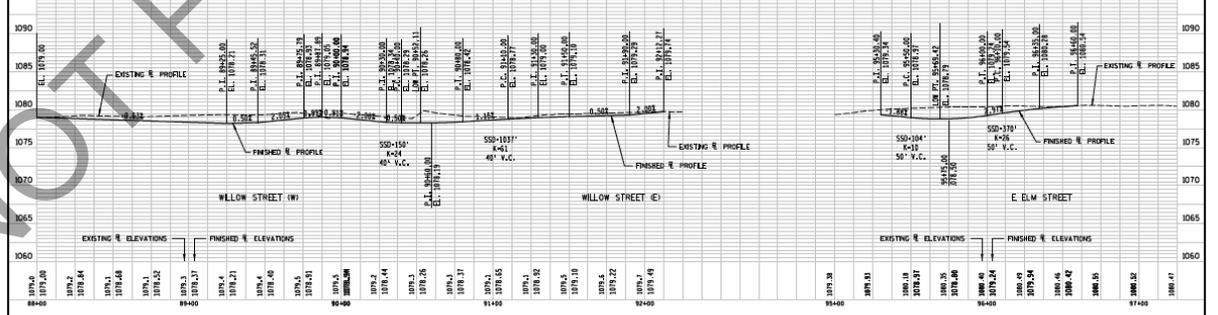
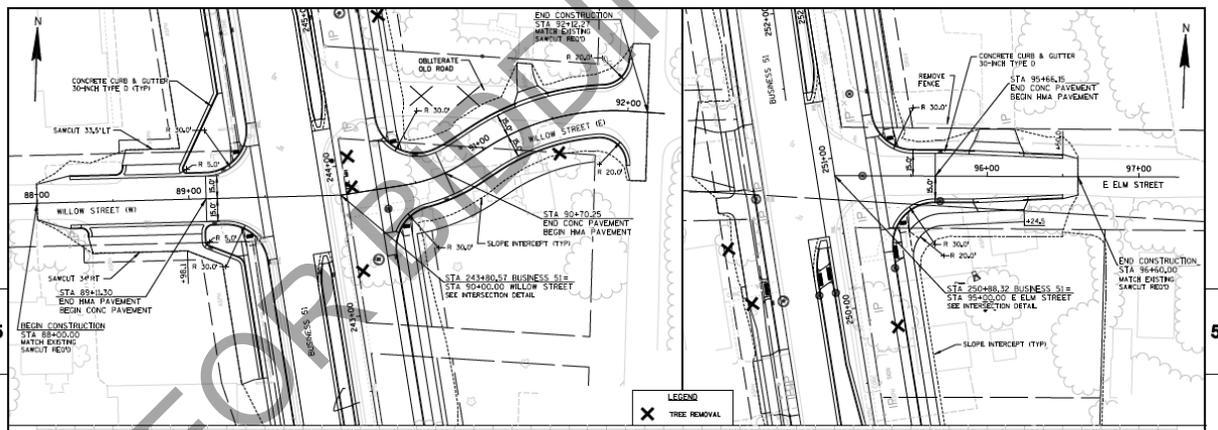




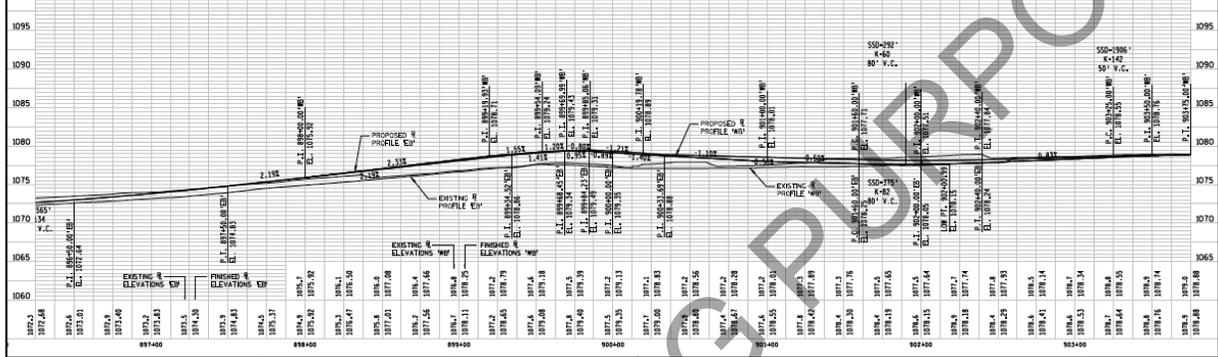
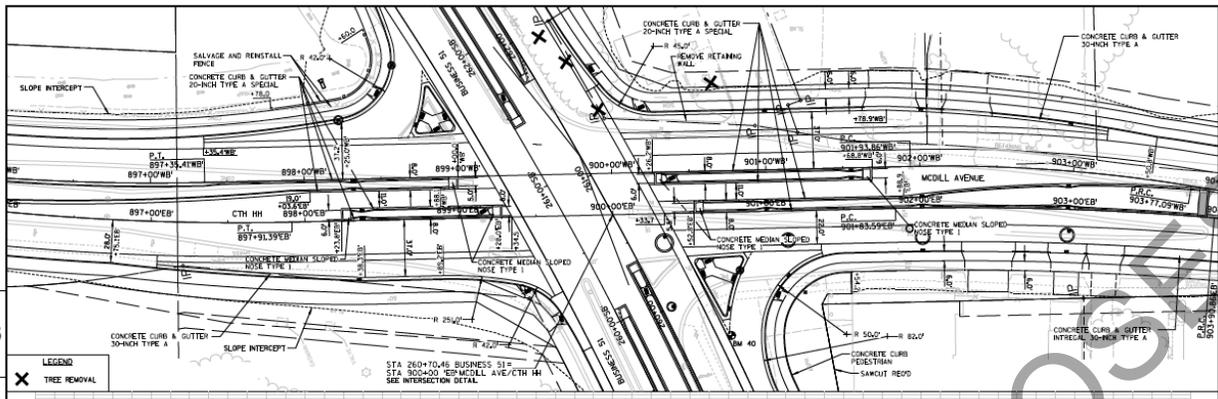
POINT	STATION	OFFSET	RADIUS	COORDINATES
CC1	2100.00	BEECH ST	30.0'	X = 179478.43 Y = 177874.74
CC2	2143.81	BEECH ST	45.0'	X = 17988.438 Y = 177824.71
CC3	2143.81	BEECH ST	45.0'	X = 179413.568 Y = 17785.368



PROJECT NO: 6414-00-80 HWY: BUSINESS 51 COUNTY: PORTAGE TREE REMOVAL SHEET E
 FILE NAME: F:\PROJECTS\6414-00-80-Final\design\30-Final\design\40-Traffic\050116 Tree removal.dgn PLOT TIME: 9:43:47 AM PLOT DATE: 2/9/2018 PLOT BY: SED PLOT NAME: PLOT SCALE: N/A WISDOT/CADDS SHEET 40



PROJECT NO: 6414-00-80 HWY: BUSINESS 51 COUNTY: PORTAGE TREE REMOVAL SHEET E
 FILE NAME: F:\PROJECTS\6414-00-80-Final\design\30-Final\design\40-Traffic\050116 Tree removal.dgn PLOT TIME: 9:43:49 AM PLOT DATE: 2/9/2018 PLOT BY: SED PLOT NAME: PLOT SCALE: N/A WISDOT/CADDS SHEET 40



PROJECT NO: 6414-00-81	HWY: BUSINESS 51	COUNTY: PORTAGE	TREE REMOVAL	SHEET
FILE NAME: P:\1\ENR\1\128397\3-Final-dgn\30-Final-dgn\30-Transkey\090119 tree removal.dgn	PLOT TIME: 9:43:52 AM	PLOT DATE: 2/9/2018	PLOT BY: SDH	WSDOT/CADD/S SHEET 40

NOT FOR BIDDING

NOT FOR BIDDING PURPOSES

BID FORM INSTRUCTIONS

(Please Read Carefully)

Option A: THE BIDDER INTENDS TO MAKE PAYMENT TO THE STATE OF WISCONSIN.

Option B: THE BIDDER INTENDS TO RECEIVE PAYMENT FROM THE STATE OF WISCONSIN.

1. Under the column entitled "Option A," insert the amount, if any, in numerals (dollars and cents) for each parcel that the bidder intends to pay the State of Wisconsin.
2. Under the column entitled "Option B," inset the amount, if any, in numerals (dollars and cents) for each parcel that the bidder intends to be paid by the State of Wisconsin.
3. A bid of \$0.00 is acceptable.
4. Bidder must bid on each parcel but only under one option per parcel.
5. A bid, which lists an amount under both options, will be considered an irregular bid and rejected.
6. Bidder must either leave blank or line out the blank under the option for which the bidder does not submit a bid.
7. The contract, if awarded, will be awarded based on the bid most favorable to the Department. A combined net bid is the difference between bids under Option A and Option B. Therefore, in the "Total Bid or Combined Net Bid" row on the Bid Proposal, if you bid under only one option for all parcels, enter the total amount. If you bid under Option A for some parcels and Option B for other parcels, enter the difference between the two bids. (Reference Article 6, Award of Contract)
8. The bid proposal shall remain completely intact when submitted.
9. A SEPARATE CERTIFIED CHECK, BANK'S DRAFT, BANK'S CHECK, OR POSTAL MONEY ORDER FOR THE BID AMOUNT IN THE "OPTION A" SUBTOTAL COLUMN SHALL BE ATTACHED TO THE BID PROPOSAL.
10. **PROPOSAL GUARANTY** (see Subsection 102.8 of the Standard Specifications). **ONE OF THE FOLLOWING NEEDS TO BE COMPLETED BY THE BIDDER AND RETURNED WITH THE BID PROPOSAL: (1)** a properly executed Bid Bond (form to be used is found near the front of this proposal – *do not* remove from bid proposal); **or (2)** a properly executed Annual Bid Bond (form to be used is found near the front of this proposal – *do not* remove from bid proposal); **or (3)** a separate certified check, bank's draft, bank's check, or postal money order in the amount of the proposal guaranty that is to be attached to the second page of this bid proposal under "Please Attach Proposal Guaranty Here."

Note: Deposit a valid surety bond with the department in the amount designated on the bond form covering both performance and payment. Submit the contract bond on a department-furnished form. This is also stated in standard spec 103.5.

BID PROPOSAL

Project I.D. 6414-00-25, Parcels 132, 138, 144, 147, 151, 152, 164, 165, 166, 168, 171, 181, 182, 185, 192, and Tree Removal

Project/Parcel Number	Option A – Contractor to Pay WisDOT	Option B – Contractor to Receive Payment from WisDOT
6414-00-25 Parcel 132	\$	\$
6414-00-25 Parcel 138	\$	\$
6414-00-25 Parcel 144	\$	\$
6414-00-25 Parcel 147	\$	\$
6414-00-25 Parcel 151	\$	\$
6414-00-25 Parcel 152	\$	\$
6414-00-25 Parcel 164	\$	\$
6414-00-25 Parcel 165	\$	\$
6414-00-25 Parcel 166	\$	\$
6414-00-25 Parcel 168	\$	\$
6414-00-25 Parcel 171	\$	\$
6414-00-25 Parcel 181	\$	\$
6414-00-25 Parcel 182	\$	\$
6414-00-25 Parcel 185	\$	\$
6414-00-25 Parcel 192	\$	\$
6414-00-25 Bus. 51 Tree Removal Station 216+75R – 217+75R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 219+00R – 220+00R	\$	\$

6414-00-25 Bus 51 Tree Removal Station 220+50R – 221+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 221+50R – 222+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 223+50R – 224+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 225+50R – 226+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 227+20R – 228+20R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 228+20R – 229+20R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 229+20R – 230+20R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 230+20R – 231+20R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 231+20R – 232+20R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 229+50L – 230+50L	\$	\$
6414-00-25 Bus 51 Tree Removal Station 230+50L – 231+50L	\$	\$
6414-00-25 Bus 51 Tree Removal Station 234+00R – 235+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 235+00R – 236+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 236+00R – 237+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 237+00R – 238+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 239+50R – 240+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 240+50R – 241+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 241+50R – 242+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 243+00R – 244+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 244+00R – 245+00R	\$	\$

6414-00-25 Bus 51 Tree Removal Station 248+00R – 249+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 249+00R – 250+00R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 250+00L – 251+00L	\$	\$
6414-00-25 Bus 51 Tree Removal Station 255+50R – 256+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 256+50R – 257+50R	\$	\$
6414-00-25 Bus 51 Tree Removal Station 261+00R – 262+00R	\$	\$
6414-00-25 Porter Rd. Tree Removal Station 800+50L – 801+50L	\$	\$
6414-00-25 Porter Rd. Tree Removal Station 801+50L – 802+50L	\$	\$
6414-00-25 Porter Rd. Tree Removal Station 801+00R – 802+00R	\$	\$
6414-00-25 E Cedar St. Tree Removal Station 85+00R – 86+00R	\$	\$
6414-00-25 E Cedar St. Tree Removal Station 88+00R – 89+00R	\$	\$
6414-00-25 E Cedar St. Tree Removal Station 89+00R – 90+00R	\$	\$
6414-00-25 Beech St. Tree Removal Station 20+50R – 21+50R	\$	\$
6414-00-25 Willow St. Tree Removal Station 91+00R – 92+00R	\$	\$
Option A Total:	\$	////////////////////////////////////
Option B Total:	\$	
Total Bid or Combined Net Bid	\$	

PLEASE NOTE: A separate Certified Check, Bank's Draft, Bank's Check, or Postal Money Order for the Bid Amount in the "Option A" subtotal column shall be attached to this Bid Proposal – see *Bid Form Instructions* for specific information.

Firm Name (_____) _____
Telephone Number with Area Code (where you can be reached during business hours)

Check box if Bidding Contractor is a Certified Asbestos Abatement Contractor and will perform the required asbestos removals under this contract, **OR** complete the following:

IF APPLICABLE:

I will use the following Licensed Asbestos Abatement Subcontractor to perform the required asbestos removal under this Contract:
Name:
Address:
Phone:

NOT FOR BIDDING PURPOSES

PLEASE ATTACH SCHEDULE OF ITEMS HERE

NOT FOR BIDDING PURPOSES