



APPENDIX G

SECTION 106 CONSULTATION DOCUMENTS

G-1	Architecture/History Survey	G-1
G-2	Determinations of Eligibility	G-59
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G-1 ARCHITECTURE/HISTORY SURVEY

ARCHITECTURE/HISTORY SURVEY COVER SHEET

DT1446 4/2008

Wisconsin Department of Transportation

Instructions: Please complete this cover sheet and Worksheets A and B for all Wisconsin Department of Transportation (WisDOT) architecture/history surveys. Directions for completing the worksheets are included in the *WisDOT Survey Manual*. If a letter report is appropriate, the cover sheet **must** be completed, but Worksheets A and B are not required.

1. PROJECT INFORMATION

WisDOT Project ID 1229-04-01	County Ozaukee, Milwaukee
Highway/Street Interstate Highway 43 (I-43)	City/Town/Village Grafton, Mequon, Glendale, River Hills, Whitefish Bay, Fox Point, Bayside
Project Termini Silver Spring Drive, State Trunk Highway (STH) 60	
USGS Topographic Map/Survey Map Cedarburg, Thiensville	
Prepared By Mead & Hunt, Inc.	Survey Date 2012

2. RECOMMENDATIONS - Based on the work described on Worksheets A and B, the following steps are recommended to complete the Section 106 Review:

☐ No listed, eligible, or potentially eligible buildings/structures are identified - No further work recommended.

☒ Listed, eligible, or potentially eligible buildings/structures are identified – Check all that apply:

☒ Listed or previously determined eligible properties – List each property below:

Milwaukee River Parkway - Listed on the National Register
Elderwood House, 6789 N. Elm Tree Road - Listed on the National Register

☒ Potentially eligible properties - DOE recommended – List each property and applicable National Register criteria below:

House, 754 Port Washington Road, Grafton	Criterion C: Architecture
School, 1206 County Trunk Highway T, Lakefield	Criterion A: History
Farmstead, 1143 Lakefield Road, Lakefield	Criterion A: History
Hovener House, 308 N. Port Washington Road, Grafton	Criterion C: Architecture
Concordia University, 12800 North Lake Shore Drive, Mequon	Criterion C: Architecture
Chalet Motel, 10401 N. Port Washington Road, Mequon	Criterion A: History
Congregation Sinai Synagogue, 8223 N. Port Washington Road, Fox Point	Criterion C: Architecture
Gas Station, 7575 N. Port Washington Road, Fox Point	Criterion C: Architecture
River Hills Department of Public Works, 7650 N. Pheasant Lane, River Hills	Criterion C: Architecture
North Shore Water Filtration Plant, 400 W. Bender Road, Glendale	Criterion C: Architecture

☒ Potentially eligible properties – DOE **not** recommended – List each property and applicable National Register criteria and explain why a DOE is not recommended:

Viesselman House, 1048 Lakefield Road, Grafton	Criterion C: Architecture
House, 806 W. Glen Oaks Lane, Mequon	Criterion A: History/Criterion C: Architecture
Mathias Hoyer House, 707 W. Pioneer Road, Mequon	Criterion A: History
Christoph Blaubach House, 800 Dandelion Lane, Mequon	Criterion A: History/Criterion C: Architecture

The four properties listed above are located on the east side of the existing railroad corridor that parallels the I-43 corridor. The proposed project activities are not expected to extend beyond the existing railroad corridor and as a result will not impact the above-referenced properties. Therefore, DOEs are not recommended at this time; however, if the project activities change, the need for DOEs will be reassessed.

3. ATTACHMENT CHECK LIST

- ☒ Architecture/History Survey Worksheet A
- ☒ Architecture/History Survey Worksheet B
- ☐ Letter report (if applicable) with supplemental information
- ☒ Map with surveyed properties clearly labeled
- ☒ Appropriate survey images, see below:

County is digitized

- ☒ Images uploaded to WHPD
- ☒ 1 set of labeled color prints for SHPO
- ☒ 1 set of labeled color prints for BEES

County is **not** digitized

- ☐ Inventory cards with color prints attached
- ☐ 1 set of labeled color prints for BEES

ARCHITECTURE/HISTORY SURVEY WORKSHEET A

1. Project Description and Area of Potential Effects (APE)

Briefly describe project activities and the APE for buildings/structures.

The project includes proposed improvements to the Interstate Highway 43 (I-43) corridor between Silver Spring Drive and State Trunk Highway (STH) 60 in Milwaukee and Ozaukee Counties. The corridor passes through the communities of Grafton, Mequon, River Hills, Fox Point, Bayside, Glendale, and Whitefish Bay. Various alternatives will be investigated, including widening the road from four to six lanes, alignment shifts, realignment of a section of railroad track and a new crossing, and a new interchange at Highland Road. Intersection improvements will also be considered along the adjacent Port Washington Road corridor. The APE includes a variable buffer zone of 100 to 500 feet from I-43. The survey area was comprised of all parcels within or abutting the buffer zone, as well as most properties on N. Port Washington Road, which runs alongside I-43 throughout the project corridor. The APE was extended to encompass proposed intersection improvements along N. Port Washington Road in Ozaukee and Milwaukee Counties, a potential new interchange at Highland Road, and potential replacement of a railroad bridge (see APE map).

2. Previously Identified/Surveyed Properties and Previous Surveys within the Area of Potential Effects

(APE) - Indicate if any properties within the APE are included in the following categories (enter *None* if there are no properties in the category):

Locally designated historic sites/landmarks

- 70825 800 W. Dandelion Lane, Mequon – Christoph Blaubach House, Local Historic Landmark
- 73383 707 W. Pioneer Road, Mequon – Mathias Hoyer House, Local Historic Landmark

Properties included in the Wisconsin Inventory of Historic Places

AHI#	Address	City	Resurveyed (Y/N)	Comments
13187	628 N. Port Washington Road	Grafton	Y	Alterations to ell
13188	1142 Lakefield Road, Grafton	Grafton	Y	No change (NC)
13199	308 N. Port Washington Road	Grafton	Y	NC
13469	13332 N. Port Washington Road	Mequon	N	Nonextant
13470	13332 N. Port Washington Road	Mequon	N	Nonextant
13471	13332 N. Port Washington Road	Mequon	N	Nonextant
13505	11656 N. Port Washington Road (Octagonal Barn)	Mequon	N	Nonextant
13506	13669 N. Port Washington Road	Mequon	N	Nonextant
13626	1206 County Highway T	Grafton	Y	NC
13630	1193 N. Port Washington Road	Grafton	N	Nonextant
70825	800 W. Dandelion Lane	Mequon	Y	NC
70826	800 W. Dandelion Lane	Mequon	Y	NC

AHI#	Address	City	Resurveyed (Y/N)	Comments
71754	806 W. Glen Oaks Lane	Mequon	Y	NC
71755	806 W. Glen Oaks Lane (Barn)	Mequon	N	Unable to photograph; barn not visible from public right-of-way
71756	1220 W. Glen Oaks Lane	Mequon	N	Nonextant
71823	713 W. Highland Road	Mequon	N	Nonextant
71824	1310 W. Highland Road	Mequon	N	Nonextant
72800	1202 Liebau Road	Mequon	N	Loss of integrity (replacement siding and windows)
72877	726 W. Mequon Road	Mequon	Y	Non-historic iron railing on porch roof removed
72878	726 W. Mequon Road (Silo)	Mequon	Y	NC
72879	828 W. Mequon Road	Mequon	Y	NC
72880	828 W. Mequon Road (Carriage Barn)	Mequon	N	Loss of integrity (partially demolished)
72881	902 W. Mequon Road	Mequon	Y	NC
72882	902 W. Mequon Road	Mequon	Y	NC
72883	909 W. Mequon Road	Mequon	N	Lack of initial integrity (replacement siding, windows, enclosed porch incorporated into the massing of the house)
73383	707 W. Pioneer Road	Mequon	Y	NC
74191	10341 N. Port Washington Road	Mequon	N	Nonextant
74192	10352 N. Port Washington Road	Mequon	Y	Secondary entrance on southwest corner removed, window added on north elevation, balustrade replaced, window configuration altered on south block
74193	10404 N. Port Washington Road	Mequon	Y	Replacement windows on second story, replacement shingles in front gable, rake and cornice covered in vinyl, brackets in gable removed
74194	10521 N. Port Washington Road	Mequon	N	Nonextant
74195	10521 N. Port Washington Road	Mequon	N	Nonextant
74196	11022 N. Port Washington Road	Mequon	N	Nonextant
74197	11022 N. Port Washington Road	Mequon	N	Nonextant
74198	11022 N. Port Washington Road	Mequon	N	Nonextant
74199	11022 N. Port Washington Road	Mequon	N	Nonextant
74203	11511 N. Port Washington Road	Mequon	N	Nonextant
74204	11501 N. Port Washington Road	Mequon	N	Nonextant
74205	11558 N. Port Washington Road	Mequon	N	Nonextant
74206	11656 N. Port Washington Road	Mequon	N	Nonextant
74207	11656 N. Port Washington Road (Barn)	Mequon	N	Nonextant
74208	12560 N. Port Washington Road	Mequon	N	Nonextant
74234	13062 N. Port Washington Road	Mequon	Y	NC
74236	13460 N. Port Washington Road	Mequon	N	Nonextant

AHI#	Address	City	Resurveyed (Y/N)	Comments
74238	13565 N. Port Washington Road	Mequon	N	Nonextant
74243	13829 N. Port Washington Road (Barn)	Mequon	N	Unable to photograph; barn not visible from public right-of-way
74878	10325 N. Port Washington Road	Mequon	N	Nonextant
75471	1310 N. River Forest Road	Mequon	N	Lack of initial integrity (replacement siding, multiple additions)
80220	11936 N. Port Washington Road	Mequon	N	Loss of integrity (replacement siding and windows)
80221	12301 C N. Port Washington Road	Mequon	N	Nonextant
80223	12311 N. Port Washington Road	Mequon	Y	Multiple additions but compatible
80232	13332 N. Port Washington Road	Mequon	N	Loss of integrity (farmstead's centric barns demolished); other buildings do not have sufficient individual integrity.
80233	13460 N. Port Washington Road	Mequon	N	Nonextant
80234	13565 N. Port Washington Road	Mequon	Y	NC
80236	13669 N. Port Washington Road	Mequon	N	Nonextant
80238	13800 N. Port Washington Road	Mequon	N	Recently constructed; not resurveyed due to age
80240	13829 N. Port Washington Road	Mequon	Y	NC
80245	13844 N. Port Washington Road (Barn)	Mequon	N	Unable to photograph; not visible from public right-of-way
80257	13933 N. Port Washington Road	Mequon	N	Lack of initial integrity
80258	13953 N. Port Washington Road	Mequon	N	Lack of initial integrity
80260	14013 N. Port Washington Road	Mequon	Y	NC
80262	14136 N. Port Washington Road	Mequon	N	Loss of integrity (multi-story porch additions and patio)
80268	14319 N. Port Washington Road	Mequon	Y	NC
80269	14319 N. Port Washington Road	Mequon	Y	NC
80272	14352 N. Port Washington Road	Mequon	Y	NC
80540	11936 N. Port Washington Road (Barn)	Mequon	N	Loss of integrity (no outbuildings, farmstead setting gone)
117419	11558 N. Port Washington Road (Carriage House)	Mequon	N	Nonextant
8749	7878 N. Port Washington Road	Fox Point	Y	NC
173622	6255 N. Santa Monica Blvd	Whitefish Bay	Y	NC
131147	614 W. Brown Deer Road	Bayside	Y	NC
131146	600 W. Brown Deer Road	Bayside	Y	NC
8746	7037 N. Port Washington Rd.	Glendale	N	Nonextant
8747	7353 N. Port Washington Rd.	Glendale	N	Nonextant
13463	1413 W. County Line Rd.	Mequon	N	Nonextant

Previous surveys within the project area

- 1975 City of Mequon Reconnaissance Survey
- 1986, 1990 City of Mequon Intensive Survey
- 1997 Compliance Survey
- 1999 Compliance Survey

3. Historic Context for Project Area - Provide a brief historic context that explains development within the project area and relates to the existing built environment in the APE (use footnotes to cite sources).

The corridor between Green Bay and Milwaukee has been an important conduit for centuries. A Native American Trail, known as the Old Sauk Trail, ran from Green Bay to Milwaukee between Lake Michigan and the Milwaukee River, and the present-day N. Port Washington Road follows roughly the same route. By the 1840s a stagecoach line ran between Green Bay and Milwaukee, and local passenger railways and streetcar lines ran north from Milwaukee in the later decades of the nineteenth century. Until the construction of I-43 in 1963, N. Port Washington Road was a major thoroughfare.

Early development in the area was driven by pioneer settlement beginning in the 1830s, while suburban growth spurred a second wave after the turn of the twentieth century. The towns of Grafton and Mequon, located in Ozaukee County, grew slowly and retained much of their small-town character. Located in Milwaukee County, the villages of Fox Point, River Hills, Bayside, and Whitefish Bay, and the City of Glendale, were originally part of Milwaukee Township and incorporated individually as the metropolitan area expanded northward. The Ozaukee County portion of the survey area contained several mid-nineteenth-century farming communities that remained primarily agricultural until late in the twentieth century. While the communities in the Milwaukee County portion began similarly, they were affected by suburban growth and development that began as early as the late nineteenth century. By 1960 what had been a scattering of rural communities was transformed into a dense suburban fabric.

Early Settlement

The first Europeans to arrive in Milwaukee County were French-Canadian traders who did business with the local Native Americans. The first permanent European settler, Solomon Juneau, came to Milwaukee in 1818 as an agent of the American Fur Company, and others did not reach the area in any great numbers until the 1830s.¹ One of the earliest pioneers in northern Milwaukee Township was Cephass Buttles, who settled on part of a 560-acre parcel of land lying in present-day Fox Point, Whitefish Bay, and River Hills. Buttles' brother Joel had purchased the parcel from the Federal Government in 1835. Present-day Bradley Road was created to allow Buttles to access the western portion of property, which was bounded by Port Washington Road.

The early pioneers in Grafton and Mequon were mainly of English extraction, and arrived to find undeveloped, forested wilderness. Lutheran immigrants from the Prussian provinces of Silesia and Pomerania began to arrive in 1839. Escaping religious oppression, they reached Milwaukee and began to strike out into the forests to the north to form permanent settlements in Washington and Ozaukee Counties. The oldest Lutheran congregation in the state is Trinity

¹ William George Bruce, ed., *History of Milwaukee, City and County* (Chicago: S.J. Clarke Publishing Co., 1922), 85.

Lutheran Church in Freistadt, now part of the city of Mequon.² Though the earliest dwellings were log-and-bark shanties (and in the case of the Freistadt Germans, tents), the settlers began to build log houses.³ The unincorporated community of Lakefield, centered on the crossroads of County Trunk Highway (CTH) T and N. Port Washington Road, has a number of slightly later fieldstone farmhouses of a type generally associated with German immigrants.⁴ The town of Grafton was incorporated in 1846, Mequon was incorporated later that year, and Freistadt was later annexed. Though much of Grafton and Mequon remained agricultural well into the twentieth century, Grafton had lime kilns operating as early as 1846. In 1881 the woolen mill in town was billed as “the only worsted mill in the West,” and yarn was produced locally until the 1960s.⁵

Agriculture

As was the case elsewhere in Wisconsin, the first settlers in the area grew wheat for market once the needs of their own families were met. By 1860 approximately 20 years after the first settlements, farmland already accounted for more than half the total acreage of Milwaukee and Ozaukee Counties.⁶ Wheat remained the principle cash crop until later in the nineteenth century, when the influx of wheat grown in the states west of the Mississippi began to depress the market for Wisconsin wheat. Corn and oats continued to be grown in both Milwaukee and Ozaukee Counties through the 1940s, with corn production rising steadily after 1860 and oat production plateauing around 1900.⁷ Barley production in both counties fluctuated in response to the Milwaukee brewing industry’s demands for malting barley, spiking in 1910 and dropping off throughout the Prohibition era. After a second spike the 1930s, corn and oat expansion led to a reduction in barley acreage.⁸ A rise in flax production during World War II subsided quickly, but surged markedly in 1947 as the result of government price supports. Flax was never a large crop in Wisconsin; this surge was largely confined to Ozaukee County and the southern portion of Sheboygan County, and represents about 15,000 acres in total.⁹

The rise of the dairy industry in Ozaukee County in the later nineteenth century reflects statewide agricultural trends. In Mequon, the first cheese factory was built in 1880 in the hamlet of Thiensville.¹⁰ Dairying in Grafton is not mentioned in an 1881 county history, but by 1909 the town had two creameries and a cheese factory.¹¹ The agricultural patterns of the Milwaukee and Ozaukee County communities began to diverge at this time, as suburban expansion in Milwaukee County after the turn of the century led to a decline in farming in those areas. Farm acreage had peaked in Milwaukee County by 1860 and remained steady for the next 50 years before dwindling after World War I. In contrast, Ozaukee County farm

² Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol.3 (Madison, Wis.: State Historical Society of Wisconsin, 1986), Religion, 13-4.

³ *History of Washington and Ozaukee Counties* (Chicago: Western Historical Company, 1881), 525.

⁴ Wyatt, ed., Vol. 2, Architecture, 4-6.

⁵ *History of Washington and Ozaukee Counties*, 530

⁶ *A Century of Wisconsin Agriculture: Bulletin No. 290, Agricultural Statistics* (Madison, Wis.: Wisconsin Crop and Livestock Reporting Service, 1948), 15.

⁷ *A Century of Wisconsin Agriculture*, 31-33.

⁸ *A Century of Wisconsin Agriculture*, 35.

⁹ *A Century of Wisconsin Agriculture*, 50.

¹⁰ *History of Washington and Ozaukee Counties*, 524.

¹¹ *History of Washington and Ozaukee Counties*, 529; *Biennial Report of the Dairy and Food Commissioner of Wisconsin for the Two Years Ending June 30, 1908* (Madison, Wis.: Dairy and Food Commissioner, 1909), 206.

acreage had varied comparatively little between 1860 and 1945.¹² In 1944 approximately 90% of the land in Ozaukee County was used for farming, as opposed to about half in Milwaukee County. Dairy farming accounted for two thirds of the farms in Ozaukee County, while less than one-third of Milwaukee County farms were operating as dairies. More than half of farm properties in Milwaukee County were classified as “Other” in 1945, meaning they were no longer classified as “Dairy,” “Livestock,” or “General” farms.¹³ The properties were either vacant or had been repurposed as gentleman’s hobby farms by Milwaukee’s wealthy. At the present time, there is also very little active farming in the Ozaukee County portion of the study area, and a number of agricultural properties have been redeveloped into commercial areas or residential subdivisions.

Community Development

Much of the land in northern Milwaukee Township, initially purchased from the government by speculators, had been sold to German immigrant farmers by the 1870s. As the nineteenth century drew to a close, the area was still rural in character, though the pioneer log houses had given way to frame farmhouses.¹⁴ In 1889 Milwaukee brewery magnate Frederick Pabst built a large public resort complex in Whitefish Bay.¹⁵ Its growth spurred by the resort, Whitefish Bay was the first of the villages to incorporate independently, and did so in 1892. The resort was accessible by passenger railway, and the streetcar lines had been extended from Milwaukee by 1898. After the turn of the century, a number of Milwaukee industrialists began to purchase working farms north of the city, which they continued to operate at their leisure as “gentleman farmers.”¹⁶ The majority, however, constructed elaborate private estates.

Village development was also influenced by the rise of country clubs in the 1890s. During this period, the sport of golf was introduced to Milwaukee from Chicago enthusiasts began to seek bucolic locations for courses and clubs. The picturesque farmlands further north of the city were an obvious choice, particularly as those closer to the city itself had become more developed. Remodeled from an old farmstead, the Fox Point Club opened in 1898. The Calumet Land Company bought up and demolished most of the other farmsteads in Fox Point in the 1890s, and little remains of the early- to mid-nineteenth-century properties in this area.¹⁷ Development was stymied by the 1893 stock market panic. One of the earliest planned communities in the state, Fox Point, incorporated in 1926 and its development was influenced by the “City Beautiful” movement, though the original plans were never fully realized.¹⁸ The village of River Hills was also partly born out of the rise of golf; the Milwaukee Country Club left its Shorewood location as development began to crowd around it, choosing to relocate further north. Several members purchased new property in 1910, and Milwaukee’s wealthy began to build large estates around the club property, spreading out on both sides of the river; the exclusive community incorporated in 1930 and continued to add more land from the town of Milwaukee until 1954. The village was entirely residential and remains so to this day, with ordinances prohibiting any commercial development.

As the area outside the Milwaukee city limits began to break apart into smaller independent entities, it left awkward-shaped regions still dependent on the Town of Milwaukee for services. Prior to the 1930s, then-nameless Glendale was a

¹² *A Century of Wisconsin Agriculture*, 17.

¹³ *A Century of Wisconsin Agriculture*, 74.

¹⁴ H. Russell Zimmermann, *River Hills: As It Is And As It Once Was* (River Hills, Wis.: River Hills Foundation, 2003), 39.

¹⁵ Mimi Bird, *The Village of Whitefish Bay, 1892 – 1992* (Whitefish Bay, Wis.: Whitefish Bay Foundation, 1992), 5.

¹⁶ Zimmermann, 40.

¹⁷ *Fox Point, A Planned Village* (Fox Point, Wis.: Bicentennial Committee, 1978), 18.

¹⁸ *Fox Point, A Planned Village*, 27.

small agricultural community in the rural Town of Milwaukee. In 1937 the owners of a 100-acre dairy farm who were no longer able sustain the operation decided to subdivide the farm property into one-half and one-third-acre residential lots for development. Called Clovernook Estates, the development was backed by the Nash-Kelvinator company as a way of promoting their newest electric home appliances. Many of the homes came outfitted with electric heaters, refrigerators, washing machines, and other Kelvinator products. Demand for the homes remained low due to the ongoing economic depression, but rose substantially after World War II.¹⁹ The population of the new suburbs of Milwaukee grew quickly in the late 1940s, leading to the community's incorporation in 1950 as the city of Glendale. The village of Bayside, then surrounded by independent towns, followed suit and incorporated in 1953.

More recently, the area along N. Port Washington Road has experienced substantial commercial development, particularly where it passes through the communities of Glendale and Mequon. In Glendale, the portion between W. Marne Avenue and W. Good Hope Road is the most heavily affected; a number of large hotels have been constructed, and the 50-acre complex surrounding the Bayshore Mall dominates the area in the vicinity of the intersection with Silver Spring Drive. In Ozaukee County, portions of the N. Port Washington Road corridor has been transformed from farmland into a series of commercial strips, residential subdivisions, and office parks, mainly between Zedler Lane and Bonniwell Road in Mequon, with another large shopping complex in Grafton located at the intersection with STH 60. In Milwaukee County, the corridor had been commercial for some time, and the change occurred in the size and scale of development. In Ozaukee County, many of the farmsteads along what had been the main rural road through the area were lost to development within the past 20 years.

Milwaukee River Parkway

The Milwaukee River Parkway is a historic district located along the north portion of the outer loop of two concentric and connected oval-shaped chains of parkways that were first conceived in 1923. Known as the "Emerald Necklace," the loop twice encircles the county, comprising a significant portion of the Milwaukee County Park and Parkway System. Portions of the Parkway located in Glendale and Whitefish Bay fall within the project area, and include the Lincoln Park Golf Course and land along the north shore of the Milwaukee River south of West Hampton Avenue. The Parkway is listed in the State Register of Historic Places, and the National Register of Historic Places (National Register) Nomination is currently with the National Park Service. Lincoln Park, a contributing resource to the district, was acquired by the City of Milwaukee in 1907, and transferred it to Milwaukee County in 1937 as part of the park consolidation program. Historically, Lincoln Park was home to a four-acre tree nursery with 32,000 small trees of numerous types, including butternut, black walnut, red oak, American elm, American beech, Norway spruce, and a number of pine varieties. Development of the Lincoln Park Golf Course was largely completed prior to the park being transferred to County ownership. City of Milwaukee reports from the period of initial development do not identify the golf course designer. In 1916 six holes of the Lincoln Park Golf Course were laid out, and in 1917 landscaping, sand traps, and bunkers were installed within the golf course. An additional three greens were developed west of the river in 1917, with adequate landscaping and hazards to establish the course as a nine-hole golf course.²⁰

¹⁹ Robert R. Morris, *Glendale Wisconsin: Rich Past, Bright Future*, (Glendale, Wis.; Fiftieth Anniversary Committee, 2000), 40.

²⁰ Christine Long, Emily Pettis, and Shannon Dolan. *Milwaukee River Parkway*. Washington, D.C.: National Register of Historic Places, National Park Service, pending (prepared May 2011).

4. Physical Setting - Briefly describe the overall physical setting of surveyed properties. The description should include a discussion of the following issues as they relate to the findings of the survey: existing and historical land uses, density of development, settlement patterns and general types of properties identified in the APE.

The project is located along a 16.5-mile section of I-43, which runs north-south through the area between Lake Michigan and the Milwaukee River, with the northern terminus at STH 60 and the southern terminus at Silver Spring Road. The corridor passes through the communities of Whitefish Bay, Glendale, Fox Point, Bayside, and River Hills in Milwaukee County, and the towns of Mequon and Grafton in Ozaukee County. Property types in the Ozaukee County portion are typically vernacular residential frame buildings that display limited Queen Anne or Italianate influences, though a number of stone gable-ell farmhouses were found in Grafton. Mequon retains several pioneer log houses, though the majority of properties are late-nineteenth-century houses and farmsteads. Exceptions include a mid-century Modern college campus, a 1950s Chalet-style roadside motel complex, a 1907 one-room school, and a turn-of-the-century Lutheran church. The area historically consisted of small farming communities dating to the mid-nineteenth century. The village centers of both towns are located well to the west of the project corridor, which runs through an area that was thinly developed until recently. Within the past 20 years, most of the previously surveyed historic properties along Port Washington Road in Mequon have been replaced by office parks and shopping centers and are no longer extant.

The portion of the surveyed area in Milwaukee County was originally farmland as well, though its proximity to the city led to redevelopment beginning in the late nineteenth century. Many farmsteads were demolished by developers in as early as the 1890s; few if any traces remain of the rural character of Fox Point, River Hills, Whitefish Bay, or Glendale. River Hills, on the west side of the project area, is an exclusive residential community of large private homes constructed in the 1920s and centers around the Milwaukee Country Club property. The village has a strictly enforced five-acre lot minimum; thus, properties are widely spaced, set back from the road up to 500 feet, and screened from one another and from the roadway by trees.

In Fox Point, on the east side of the corridor, the area between I-43 and Port Washington Road contains recent development; several modern apartment complexes, a small subdivision, and a large hospital act as a buffer. The town's early-twentieth-century residences are located between the shoreline and Lake Shore Drive, half a mile from the project area. Within the APE, development is later (1950s-1970s), and properties are typically undistinguished Minimal Traditional or Ranch houses clustered tightly on small lots arranged along slightly curving streets. The same is true of Bayside, to the north. In Glendale, to the south, the project corridor bisects Clovernook Estates, a dense neighborhood of mixed pre- and post-World War II Minimal Traditional homes on small lots with tree-lined curvilinear streets. In Whitefish Bay, a commercial strip along N. Port Washington Road buffers a neighborhood of closely spaced, pre-war, Colonial Revival properties to the east. The majority of properties surveyed in Milwaukee County were non-residential, and include a Tudor Revival school campus, two ecclesiastical buildings (a Gothic Revival church and a Neo-Expressionist synagogue), Neoclassical and Modern municipal buildings, and a mid-century gas station.

South of Bender Road in Glendale, the project area contains large-scale recent development, including the Bayshore Mall and several hotels. Opposite, the Milwaukee River makes a bend to run parallel to I-43; properties in this vicinity are small, single-story, pre- and post-World War II Minimal Traditional and Ranch houses, with a small number of undistinguished Contemporary examples. The project corridor intersects the National Register-Listed Milwaukee River Parkway at West Hampton Avenue, where the Lincoln Park Golf Course (within the Parkway boundary) abuts a section of I-43 approximately 1,800 feet in length.

5. Bibliography - List sources consulted.

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Zimmermann, H. Russell. *River Hills: As It Is And As It Once Was.* River Hills, Wis.: River Hills Foundation, 2003.

ARCHITECTURE/HISTORY SURVEY WORKSHEET B

1. Survey Results – For each surveyed property in the APE, provide a brief description, relevant property-specific history, a statement of significance that addresses both the applicable National Register Criteria and integrity, and a National Register eligibility recommendation. Complete the formatted heading for each surveyed property. Copy and paste the formatted heading if you have additional properties.

Address	AHI #	Map Code	NRHP Evaluation
1528 N. Port Washington Road, Grafton	222298	222298	Not Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 17 NW ¼ SW ¼

Description

This two-story, front-gable, vernacular residence was constructed in 1900.¹ Built on a stone foundation covered with concrete, the walls are clad in clapboard. The steeply pitched gable roof has raked eaves and is covered in asphalt shingles. The west-facing main elevation features pointed, flattened-arch windows and matching transom over the main entrance, located in the leftmost bay. Most openings contain wood, two-over-two, double-hung sash. A small oval window is found on the second story of the north elevation. A side porch on the south elevation, at the junction of a shallow projecting gable, features square chamfered porch posts supporting flattened pointed arches with decorative cutouts and ornamental brackets. A rear addition extends on the east elevation, with a two-story porch. A cream brick chimney extends above the ridgeline of the roof at the junction of the main block and rear addition. The property also includes a c.1940 detached side gable garage, clad in drop siding with a moderately pitched asphalt roof.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to suggest that the property qualifies as eligible under *Criterion A: History* or *Criterion B: Significant Person*. The house is a vernacular building and lacks sufficient architectural interest to qualify as eligible under *Criterion C: Architecture*. A Determination of Eligibility (DOE) is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1055 Arrowhead Lane, Grafton	222302, 222411,-12,-14, -16	222302, 222411,-12,-14,-16	Not Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 17 SW ¼ SW ¼

Description

This farmstead property, currently known as Avonstead Farm, contains a house, dairy barn, and seven other associated agricultural buildings and structures. The farmhouse is a two-and-one-half-story, cross-gabled, vernacular farmhouse built in 1906. Resting on a mortared fieldstone foundation, the walls are clad in vinyl siding. A central cream brick chimney extends above the moderately pitched asphalt shingled roof. A single-story porch spans the north-facing main elevation, supported by turned posts topped with cutout brackets and spindled valences. A one-story addition is attached to the east elevation and a single-story rear addition extends from the south elevation. Most window openings contain

¹ Unless otherwise indicated, exact construction dates are taken from the assessor's records. Those in Mequon are taken from the *City of Mequon Intensive Survey Report*, produced for the City of Mequon in 1990 by Carol Lohry Cartwright, Donald Silldorff, and Sharon C. Robinson.

replacement, one-over-one, vinyl sash; exceptions are the Chicago-style picture window on the east elevation and the three single-light casement windows of the east addition.

The main barn, silos, and milk house are located to the east of the house. The c.1910 gable-roof bank barn (AHI# 222411) is built on a fieldstone foundation and clad in board-and-batten siding. Basement window openings contain glass blocks. A large single-story ell is attached on the east elevation. The milk house (AHI# 222416) at the barn's southwest corner is built of concrete blocks, and its low-pitched hip roof is covered in asbestos shingles, topped with a small wooden ventilator. The milk house is connected to the barn by a frame hyphen with a shed roof that is clad in drop siding. Two concrete silos are located adjacent to the barn, one of which lacks a roof. A smaller gable-roof hay barn (AHI# 222412), sited to the south of the main barn, has a fieldstone foundation, board-and-batten siding, and an asphalt roof. A two-car garage is attached to the second barn's west elevation. A c.1940 side-gable building (AHI# 222414) is used to house farm equipment and is located north of the house. Built on a concrete foundation, it has a gable roof covered with asphalt shingles, walls clad in vertical bead-board, and two sliding bay doors on the east side. Two small outbuildings are located at the rear of the house; identical in size and form, one is clad in board and batten siding while the other is built of fieldstone. Both have gable roofs clad in asphalt shingles.

Statement of Significance

The farmstead property was evaluated for the National Register under *Criteria A, B and C*. The farmhouse is a typical vernacular form with alterations, has been modified with replacement siding and replacement windows, and lacks sufficient architectural interest or integrity. Though a concentration of period agricultural buildings and structures is present, both barns have substantial additions. The farmstead as a whole does not possess sufficient integrity or architectural interest to qualify as eligible under *Criterion A: History* for its role in the development of agriculture in Ozaukee County or *Criterion C: Architecture* as an example of a turn-of-the-century dairy farm. No evidence was found to suggest that the property qualifies under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
754 N. Port Washington Road, Grafton	222306	222306	Potentially Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 29 NW ¼ SW ¼

Description

The J.H. Hennings House is a gable-ell farmhouse built in 1884.² Set back from the road on a small rise, the two-story, front-gable main portion faces west with a single-story ell adjoining the north elevation. Resting on a fieldstone foundation, the walls are of coursed, dressed ashlar and feature a water table and quoins that are more finely dressed. The moderately pitched roof has an open rake and the wooden frieze boards are ornamented at the corners. Fenestration consists of wooden, one-over-one, double-hung sash with segmental arched stone lintels and sills. The main entrance is located in the leftmost bay of the main block, with a secondary entrance on the ell. Both entrances are sheltered by truncated, hip-roof porches, supported by squared posts with decorative brackets and cutouts in the friezes. Two interior-end cream brick chimneys extend above the ridgeline of the main block's roof at both gables. A small arch-roofed stone entryway encloses a door to the basement at the north gable of the ell. A c.1980 single-story, single-bay garage is attached at the rear of the ell. The property also includes seven outbuildings. Two small c. 1950 sheds, two c.1920 concrete silos, a modern corn bin, and a large, modern, corrugated metal equipment shed are located to the north

² Source: date stone

of the house, and a third shed is located to the east. The fieldstone foundation of a dairy barn and milk house are also visible north of the house.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The c.1890 barn and c.1910 milk house were demolished between 2008 and 2010; the property presently lacks the key components of a farmstead, and is thus not eligible under *Criterion A: History* for its role in the development of agriculture in Ozaukee County. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. Under *Criterion C: Architecture*, the house does display an extremely high level of craftsmanship, and is locally unique in its use of dressed, coursed ashlar, compared to other stone farmhouses in the survey area, which are built of rubble fieldstone. The porches are recent replacements, but their design is based closely on local precedent (AHI# 222312, 1043 Lakefield Road, Grafton) and the materials and workmanship are at a level consistent with that of the house. The garage addition is visible only from the rear. Windows still contain historic wooden sash, though the glazing has been replaced and the muntin configuration altered in some cases. The survey area contains a number of stone farmhouses, though most have been substantially altered. In comparison, the Hennings house retains a high level of overall integrity, and is potentially eligible under *Criterion C* as a good local example of a gable-ell stone farmhouse. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
753 N. Port Washington Road, Grafton	222309, 222430, 222431	222309, 222430, 222431	Not Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 30 NE ¼ SW ¼

Description

This property is an early twentieth-century farmstead that includes a house, two barns, and two outbuildings. The house, built in 1913, is a two-story, rectangular-plan, front-gable, vernacular house with a shed-roof porch spanning the east-facing main elevation, supported by square posts. An enclosed porch is attached at the rear. The foundation is of mortared fieldstone. The walls are clad in vinyl siding, and the moderately pitched gable roof has boxed eaves and is covered with asphalt shingles. Fenestration is regular and most window openings contain replacement, one-over-one, vinyl, double-hung sash.

A c.1913 gambrel-roofed, side-gable bank barn (AHI# 222430) is located to the south of the house, with a concrete silo adjacent to the drive ramp on the north elevation. The foundation is of fieldstone with dressed corner blocks, and the walls are clad in vertical wood siding. Window openings contain six-light, wooden, fixed sash on the main level and two-over-two, double-hung, wooden sash at the basement level. The attached shed-roof milk house is clad in clapboard. The complex also contains a c.1940 two-bay garage with a concrete foundation, walls clad in drop siding, and a metal roof. A second, smaller gambrel-roof barn (AHI# 222431) is located at the rear of the house. A small, gable-roof school bus shelter faces the main road on the south side of the driveway.

Statement of Significance

The farmstead property was evaluated for the National Register under *Criteria A, B, and C*. The farmhouse is a vernacular building that has been modified with replacement siding, replacement windows, and an addition, resulting in diminished historic integrity. Though a collection of early-twentieth-century agricultural buildings and structures is present, they do not collectively possess sufficient integrity or architectural interest for the property to qualify as eligible under *Criterion A: History* for its role in the development of agriculture in Ozaukee County or *Criterion C: Architecture* as an example of a turn-of-the-century dairy farm. Other examples of the farmstead property type elsewhere in the area have

more integrity and architectural interest. No evidence was found to suggest that the property qualifies under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
628 N. Port Washington Road, Grafton	13187	13187	Not Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 29 SW ¼ NW ¼

Description

The Ernst Schnabel House is a vernacular farmhouse that displays a number of Greek Revival features. Built in 1874, the two-story, front gable main block rests on a stone foundation, with rubble-stone walls whose mortar is scored in imitation of coursed ashlar. Quoins, sills, and segmental arched lintels are all of dressed stone. The moderately pitched roof is covered in asphalt shingles, and features the returned, boxed eaves and wide frieze boards typical of the Greek Revival style. A stone block beneath the peak of the front gable gives the year of construction. Fenestration is regular and window openings contain replacement one-over-one double-hung vinyl sash. The main entrance is located in the rightmost bay of the west-facing main elevation, and contains a modern wooden door with leaded sidelights. A one-and-a-half-story frame ell extends from the south elevation of the main block, clad in vinyl siding. Two gable dormers face west, and a large exterior fieldstone chimney is attached to the ell's south gable end.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B and C*. The barn previously documented in a 1975 survey is non-extant, and the property no longer possesses a collection of agricultural buildings that would qualify it as eligible under *Criterion A: History* for its role in the development of agriculture in Ozaukee County. Though the main block of the house displays a high level of workmanship, the one-and-one-half-story addition dominates the facade, resulting in a loss of integrity. Due to the scale and materials of the addition and the use of replacement windows and door, the house is not eligible under *Criterion C: Architecture* as an example of a nineteenth-century farmhouse. No evidence was found to suggest that the property qualifies under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1206 County Trunk Highway (CTH) T, Grafton	13626	13626	Potentially Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 30 SE ¼ SE ¼

Description

The District 6 Schoolhouse (Lakefield School), built in 1907, is a one-room front gable schoolhouse built of cream brick on a fieldstone foundation. The water table, sills, lintels, and name plaque are of dressed stone. The moderately pitched roof, covered in asphalt shingles, features flared eaves with plain verge-boards and fascia, and is supported at the corners by decorative wooden brackets. A small bell cupola is clad in wood shingles, with a steeply pitched hip roof surmounted by a finial. The entrance, located on the south-facing main elevation, is sheltered by a cream brick entry porch with thick square posts that support a heavy round arch, topped by a gabled roof with flared eaves and decorative brackets that match the main roof. A triple round-arch window is located beneath the peak of the front gable, directly above the name plaque; window openings contain plywood. Two large windows flank the main entrance, and one of the original large side windows typical of one-room schools is visible on the east elevation. A second has been in-filled with brick, and a c.1940 six-unit window wall fills the remainder of the elevation. On the west elevation, two of the large side

window openings have been in-filled, one of which was adapted to serve as a side entrance. Two c.1970 additions are present. At that time, the property was converted to a residence; a single-story rear addition was attached on the north elevation, and a one-story, single-bay garage was attached to the west elevation. The garage and rear addition are both built of brick that complements the historic wall material. The interior has an open floor plan, and the wood floor appears to be original, as does the chalkboard on the south wall. The property is currently used as the retail outlet of a local winery.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B and C*. The building displays a high level of workmanship and architectural interest. Though converted into a residence in the 1970s, at which time a rear addition and attached garage were constructed, the interior of the main block still retains the open floor plan characteristic of the property type, as well as the chalkboard and original wood floor. Other character-defining features, such as the cloakroom and bell tower, also remain. The in-filled west windows and reconfigured window wall on the east elevation may reflect the development of new architectural standards for one-room schools in the early twentieth century, as concerns grew about the impact of cross-lighting on pupils' eyesight.³ As one of few remaining one-room schoolhouses in the area, the building is potentially eligible under *Criterion A: History* for its role in local educational development. The Lakefield School may also be potentially eligible under *Criterion C: Architecture* as a relatively intact example of a one-room school from the early twentieth century. No evidence was found to suggest that the property qualifies under *Criterion B: Significant Person*. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1143 Lakefield Road, Grafton	222312, 222432,-3,-4,-5	222312, 222432,-3,-4, -5	Potentially Eligible
Township-Range-Section (Rural Properties Only)			
10N 22E Section 32 NW ¼ NW ¼			

Description

This farmstead contains a farmhouse and complex of four historic agricultural buildings. The one-and-one-half-story side-gable vernacular house features some Greek Revival influences. Built in 1872, the house rests on a stone foundation, with rubble-stone walls whose mortar is scored in imitation of coursed ashlar. Quoins, sills, and segmental arched lintels are all of dressed stone. The moderately pitched roof is covered in asphalt shingles, and features the wide wood frieze boards, cornice returns, and boxed eaves typical of the Greek Revival style. The frieze boards and raking cornice feature an applied decorative motif. Fenestration is regular, and most openings contain two-over-four, double hung sash with wooden storm sash on the exterior. The north-facing main elevation is five bays wide, and the central main entrance is sheltered by a truncated hip-roof porch with a small peaked gable, supported by squared posts with decorative brackets and cutouts in the arched valence. A two-story frame addition is attached to the rear of the house.

A small, c.1875, gable-roofed outbuilding (AHI# 222434) is located just to the northeast of the house, with mortared fieldstone walls and an asphalt roof. The gable ends have large, widely spaced horizontal boards, indicating probable historic use as a smokehouse. A large, c.1900 bank barn (AHI# 222432) sits opposite the driveway, with a fieldstone foundation, board-and-batten siding, asphalt gambrel roof, large cross gable, and shed overhang on the east side. A second c.1910 gable-roof barn (AHI# 222435) is sited perpendicular to the bank barn. A small stable (AHI# 222433) sits close to the road and appears to have been converted into a two-bay garage. The one-and-one-half-story side-gable building is clad in board-and-batten siding and has a metal roof. A sliding hay door is located in the west gable end. A

³ Andrew Gulliford, *America's Country Schools*, (Washington D.C.: The Preservation Press), 1991, 194.

Harvestore silo is sited on the west side of the dairy barn. A modern pole barn and grain bins are located south of the bank barn.

Statement of Significance

The farmstead property was evaluated for the National Register under *Criteria A, B, and C*. The house does have some architectural interest for its decorative porch and frieze bands, and displays a comparatively high level of workmanship; in spite of the rear addition, it is one of the more intact stone farmhouses in the survey area. The agricultural buildings are vernacular examples of common forms, but the concentration of extant period agricultural buildings and structures illustrates the evolution of a late-nineteenth-century dairy farm as it transitioned into the early twentieth century. While only the house possesses sufficient integrity or architectural interest to qualify as eligible individually under *Criterion C: Architecture*, the property as a whole may be eligible under *Criterion A: History* for its role in late-nineteenth and early-twentieth-century dairy farming. No evidence was found to suggest that the property qualifies under *Criterion B: Significant Person*. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1142 Lakefield Road, Grafton	13188, 222313	13188, 222313	Not Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 29 SW ¼ SW ¼

Description

The Ozaukee Congregational Church, historically known as St. John's Evangelical Lutheran Church (AHI# 13188), is a front-gable Gothic Revival church. The steeple at the gable end of the rectangular main block shelters an engaged entry porch at its base, and a five-sided apse at the rear of the building is flanked by small hip-roof additions. Built in 1902, the church sits on a raised foundation of mortared fieldstone, with walls clad in fiber cement siding and a moderately pitched asphalt roof. The sanctuary and apse are lit by pointed arch windows, with segmental arch basement windows in the foundation. The steeple has paired pointed arch louvered windows on all four sides and is surmounted by a cross. The entry porch features a blind pointed arch with a wooden sunburst motif, and a pointed arch window above contains stained glass.

A covered walkway at the north end of the church connects to a more recent (post-1976) building at the rear, which functions as a community center. The parsonage (AHI# 222313), located to the east of the church, is a c.1905 cross-gable vernacular building with some Queen Anne influences. Built on a stone foundation, the walls are clad in narrow-width clapboard with wood shingles in the gable ends. The moderately pitched roof is covered with asphalt shingles and features flared, boxed eaves supported at the corners by decorative brackets. On what was originally the west-facing main elevation, a one-room, side-gable wing has been added and has eaves extending on the south elevation to shelter a porch and the current main entrance. Fenestration is regular, and openings contain historic two-over-one, double-hung sash or replacement one-over-one, vinyl sash. An attached two-car garage is located at the rear.

Statement of Significance

The property was evaluated under *Criteria A, B, and C*. The Lutheran Church played an important role in the settlement of Ozaukee County, and St. Johns was the only Lutheran Church surveyed in the unincorporated community of Lakefield. However, the church was not constructed during the initial wave of immigration in the mid-1800s, and thus lacks the significance to be eligible under *Criterion A: History* when applying *Criteria Consideration A* for religious properties. The church is a modest example with little architectural interest, and the adjacent town of Mequon possesses several examples of turn-of-the-century Lutheran churches with far more architectural interest and historic integrity. The

community center more than doubles the footprint of the church. Coupled with the additions to the parsonage, these alterations are substantial enough to diminish the overall integrity of the property. The church does not qualify as eligible under *Criterion C: Architecture*. No evidence was found to suggest that it qualifies under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1048 Lakefield Road, Lakefield (Grafton)	222317	222317	Potentially Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 29 SE ¼ SW ¼

Description

The Viesselman House, built in 1860, is a two-story gable-ell farmhouse. Resting on a fieldstone foundation, the walls are clad in cream brick. The moderately pitched roof is covered with asphalt shingles and has boxed eaves, cornice returns, and wide frieze boards. The main entrance is in the leftmost bay of the projecting front gable on the south-facing main elevation, and contains a wooden door with three-quarter sidelights and a transom. A secondary entrance is located in the central bay of the ell, also on the main elevation. Both entrances are sheltered by the single-story front porch, which is supported by turned posts with decorative brackets and a spindle frieze. Fenestration is regular, with hooded segmental brick arch windows containing replacement six-over-six, vinyl, double-hung sash. A semicircular window lights the attic below the peak of the front gable. Two cream brick interior chimneys extend above the ridgeline of the roof: one at the west gable end of the ell and the other at the junction of the ell and main block. The property contains three modern horse barns, as well as a c.1940 gable-roof, detached, one-car garage, clad in drop siding. A small c.1970 secondary residence is located to the west of the main house; the property owner believes this building incorporates one end wall of a historic pig barn. The single-story side-gable building has board-and-batten siding, a low-pitched asphalt shingle roof, and a foundation clad in stone veneer.

Statement of Significance

The Viesselman House was evaluated for the National Register under *Criteria A, B, and C*. The house retains a high level of integrity. The porch appears to be a turn-of-the-century addition, and the only non-historic alteration is the use of vinyl replacement windows. These do not detract from the house's appearance, as the six-over-six, double-hung sash may preserve the historic muntin configuration. The house is one of the earliest in the survey area and displays a high level of craftsmanship and overall integrity; it is potentially eligible under *Criterion C: Architecture* as an early local example of brick construction. Due to the absence of any period agricultural buildings, the house is not significant under *Criterion A: History* for its role as a nineteenth-century farm, but due to its date of construction, further research may yield significance in the context of the German and/or Lutheran settlement of the region. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. The proposed project activities are not expected to extend beyond the existing railroad corridor located east of the I-43 corridor and are not expected to impact the property. Therefore, a DOE is not recommended for this property; however, if the project activities change, the need for a DOE will be reassessed.

Address	AHI #	Map Code	NRHP Evaluation
308 N. Port Washington Road, Grafton	13199	13199	Potentially Eligible

Township-Range-Section (Rural Properties Only)

10N 22E Section 32 SW ¼ NW ¼

Description

The Louis Hovener House, built in 1890, is a large, two-story T-plan vernacular house that displays some Italianate elements in its boxy massing and window treatment. The house faces west toward N. Port Washington Road and is comprised of a north block whose long axis runs north-south and a south block oriented east-west. Built on a stone foundation, the walls are of rubble fieldstone with the mortar scored to imitate coursed ashlar. The low-pitched hip roof features a heavy cornice line with very little overhang and is covered with asphalt shingles. The keyed segmental arch lintels, window sills, and quoins are of dressed stone. An entry porch located in the western junction of the main block has a truncated hip roof supported by turned posts with spindle friezes. Fenestration is regular throughout; lower-story openings contain arched, two-over-two, wood, double-hung sash while some upper-story openings contain one-over-one replacement sash. A two-story canted bay window is centered on the south elevation. A one-and-one-half-story gable wing is attached at the southeast corner of the south block, built of fieldstone similar to that of the main portion of the house, and features two small gable wall dormers on each side, containing one-over-one double hung sash. A single-story flat roof porch is located on the eastern junction of the main block. Clad in clapboard, it has a rooftop balustrade.

Statement of Significance

This property was evaluated for the National Register under *Criteria A, B, and C*. Though the construction methods and materials are similar to a number of other properties, the form and massing distinguish it from other local examples of stone houses in the survey area (typically gable-ell farmhouses). The south wing and east porch appear to be historic additions, and the overall level of integrity is relatively high. Most window openings retain historic sash, and there appear to be extant period agricultural buildings at the rear of the house; however, the property owner refused access, so the house was surveyed from the right of way. The property is potentially eligible under *Criterion C: Architecture* as a locally exceptional example of a late-nineteenth-century stone farmhouse, and further study may also yield significance under *Criterion A: History* or *Criterion B: Significant Person*. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
707 W. Pioneer Road, Mequon	73383	73383	Potentially Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 5 NW ¼ NE ¼

Description

Built in 1870, this property is a two-story gable-ell residence with Queen Anne elements. Resting on a fieldstone foundation, the walls are clad in clapboard and the gables feature scalloped wood shingles. The moderately pitched roof has raked eaves and is covered with asphalt shingles. Eastlake-influenced front and rear porches are located at the junction of the two blocks; both have truncated hip roofs supported by turned posts and carved brackets. The peaked valences have elaborate decorative cutouts with a floral/vegetal motif and pendants at the peaks. Fenestration is regular and most window openings contain wooden two-over-two, double-hung sash. Window surrounds feature dentilated cornices with applied decoration at the upper corners. A modern bay window is centered on the gable of the north-facing main elevation. A small central brick chimney extends above the ridgeline of the front-gable block and a larger modern exterior chimney is attached to the east elevation, where it extends through the cornice and eave.

Statement of Significance

This property was evaluated for the National Register under *Criteria A, B, and C*. The house was designated as a local historic landmark in 1986; as a result, further investigation is necessary to evaluate significance under *Criterion A: History* or *Criterion B: Significant Person*. While the house does have more decorative elements than are typical in the survey area, it is an example of a common vernacular property type and therefore lacks sufficient architectural interest to qualify as eligible under *Criterion C: Architecture*. The proposed project activities are not expected to extend beyond the existing railroad corridor located east of the I-43 corridor and are not expected to impact the property. Therefore, a DOE is not recommended for this property; however, if the project activities change, the need for a DOE will be reassessed.

Address	AHI #	Map Code	NRHP Evaluation
14352 N. Port Washington Road, Mequon	80272	80272	Not Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 5 NW ¼ NW ¼

Description

The Martin Reichenaur house is a two-story gable-ell built in 1850. Resting on a concrete foundation, the walls are clad in clapboard, and the moderately pitched gable roof has raked eaves and is covered with asphalt shingles. A central brick chimney is located at the junction of the ell, and an interior-end brick chimney pierces the ridgeline of the west gable. Fenestration is regular, with pedimented lintels, and most window openings contain wood, six-over-six, double-hung sash behind vinyl storm sash. The shed-roof ell porch is partially enclosed, and a single-story shed-roof addition spans the east elevation at the rear, some or all of which appears to be a screened porch.

Statement of Significance

This property was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to suggest that the Reichenaur house qualifies as eligible under *Criterion B: Significant Person*. The property presently lacks a collection of agricultural buildings that would qualify it as eligible under *Criterion A: History* for its role in the development of agriculture in Ozaukee County. Though it does retain integrity, the house is an example of a common vernacular property type and therefore lacks sufficient architectural interest to qualify as eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
14319 N. Port Washington Road, Mequon	80268, 80269	80268, 80269	Not Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 6 NE ¼ NE ¼

Description

This late-nineteenth/early-twentieth-century farmstead property includes a house, barn, milk house, and silos. The house (AHI# 80268) is a c.1880, two-story, gable-ell farmhouse. Resting on a concrete block foundation, the walls are clad in clapboard and the low-pitched gable roof has raked eaves and is covered in asphalt shingles. Fenestration is regular, with window openings containing one-over-one, double-hung sash. The main entrance is located in the leftmost bay of the front gable block on the west-facing main elevation. The hip-roof ell porch shelters a secondary entrance on the same elevation. Window and door surrounds feature pedimented lintels and the main entrance contains a four-panel wooden door with a single-light transom above. A semicircular window is located beneath the peak of the west gable. A cream brick chimney extends above the slope of each of the eaves on the main block.

The collection of agricultural buildings is located to the north of the farmhouse. The large, c.1920, Gothic arch dairy barn (AHI# 80269) has an attached milk house with an arched roof; both have flared eaves, and are clad in vertical wooden siding. The barn's main entrance is in the east gable end. A roofless concrete silo is attached to the north eaves side of the barn, and a modern Harvestore steel silo is located to the south of the barn.

Statement of Significance

This farmstead was evaluated for the National Register under *Criteria A, B, and C*. Though a c.1920 barn, milk house, and silo are present, no evidence was found to suggest that the property is significant under *Criterion A: History* for its role in the development of dairy farming in Ozaukee County. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. The farmstead as a whole is a vernacular example of a common property type and therefore lacks sufficient architectural interest to qualify as eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
14013 N. Port Washington Road, Mequon	80260	80260	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

Built in 1915, this property is a one-and-one-half-story, rectangular-plan, front-gable Bungalow. Resting on a concrete block foundation, the walls are clad in aluminum siding and the moderately pitched clipped gable roof is covered with asphalt shingles and has boxed eaves. A hip roof porch spans the east-facing main elevation, supported by square posts, and shelters a central main entrance flanked by triple windows. A paired window is located beneath the front gable. Window openings contain wood, three-over-one, double-hung sash in single, paired, or triple configurations.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The house is common example of a vernacular Bungalow form clad in artificial siding and is not associated with any historic context that would qualify it under *Criterion A: History*. While it does retain its form and some details, it does not possess sufficient integrity to qualify as eligible under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
13829 N. Port Washington Road, Mequon	80240	80240	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

The property is a one-and-one-half-story, side-gable, vernacular house built in 1848. The walls are clad in aluminum siding, and the moderately pitched gable roof has raked eaves and is covered with asphalt shingles. Fenestration is regular; the main entrance is centered on the east-facing main elevation, flanked by windows and two small, gable, wall dormers. Window openings contain one-over-one double-hung replacement sash. A small gable wing is attached to the south elevation and features a Chicago-style picture window on the east elevation and a large, modern, brick exterior-end chimney on the south gable end.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The house is a vernacular example of the side-gable form, and possesses little architectural interest. Based on the age and proportions, the 1990 survey speculated that the property may originally have been a pioneer log house. The property owner was contacted to inquire about the log construction and but did not provide comment on the structural system. At this time, no evidence can be obtained to support eligibility under *Criterion A: History* or *Criterion C: Architecture*. In addition, the area already has a number of documented examples of visible pioneer log houses that likely retain a greater degree of integrity. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
13565 N. Port Washington Road, Mequon	80234	80234	Not Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 7 NE ¼ NE ¼

Description

The Henry Klug House, built in 1915, is a two-story, T-plan, vernacular house with Queen Anne influences. Resting on a fieldstone foundation, the walls are clad in asbestos siding and the steeply pitched gable roof is covered with asphalt shingles. The east-facing front gable has cutaway corners with decorative brackets, and a porch along its left side shelters the main entrance. The front-gable porch features a closed, pedimented gable with dentilated cornice, supported by turned posts with a spool-and-spindle frieze. An enclosed side porch is attached on the south elevation. Fenestration is regular, with one-over-one, double-hung sash on the lower story and paired units of the same on the upper. Windows have plain surrounds and corniced lintels. The property also includes the partial foundation of a dairy barn and a small concrete silo.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The house is a modest example of a vernacular form and lacks sufficient architectural interest to be eligible under *Criterion C: Architecture*. The adjacent dairy barn is no longer extant, and the property lacks a collection of turn-of-the-century agricultural buildings. There is no evidence that the property played an important role in the development of dairy farming in Ozaukee County, and it is not eligible under *Criterion A: History*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
13062 N. Port Washington Road, Mequon	74234	74234	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

Built in 1915, this brick, one-and-one-half-story, front gable house faces west, with a small gable entry porch in the right bay, supported by square posts, that shelters the main entrance. An intersecting gable attached to the south elevation projects slightly. The walls are clad in a cream brick veneer, and the moderately pitched roof has boxed eaves and is covered with asphalt shingles. Windows have concrete sills and flat brick lintels and openings contain one-over-one, double-hung sash in single, paired, or triple configurations; basement windows have three-light awning sash. The property also includes a c.1915 gambrel roof barn with a fieldstone and concrete foundation, vertical wooden siding,

asphalt-shingle roof, and a shed dormer above the entrance on the west eaves side. A c.1940 two-car garage is located adjacent to the northwest corner of the barn, and features concrete block walls and an asphalt-covered hip roof.

Statement of Significance

The property was evaluated for the National Register as a farmstead under *Criteria A, B, and C*. The house is a vernacular form with little architectural interest. Due to the absence of a collection of early twentieth century agricultural outbuildings, the property does not meet the criteria to demonstrate local agriculture as a farmstead; the property is not eligible under *Criterion A: History* or *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
Concordia University, 12800 North Lake Shore Dr., Mequon	222325	222325	Potentially Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 8 SW ¼ SE ¼

Description

Sited on the shore of Lake Michigan, the campus of Concordia University Wisconsin (formerly known as Notre Dame of the Lake) contains a large complex of c.1958 Modern dormitories, administrative buildings, and a chapel, all of which display the horizontal emphasis and bands of windows that are characteristic features of the style. Predominantly two stories tall, all are built of cream brick with shallow coping at the roofline; stone veneer accents the ends of some buildings. Windows are flush with the exterior wall surface and arranged in both vertical and horizontal bands. Each unit consists of a large, single-light, aluminum fixed sash above a smaller awning sash, with turquoise-colored panels above and below. Wall planes are flat with narrow horizontal bands of concrete below the coping and between floors. Grouped in irregular U- and T-shaped configurations, the buildings are organized around a main lawn and garden courtyard, with the chapel at the north side. Buildings are connected by indoor walkways, some of which are elevated above driveways, enclosed with turquoise panels and supported by decorative concrete screens. The wedge-shaped chapel faces south onto the main lawn and has an arcade that wraps around to the east and west elevations with three large clerestory windows above. A bell tower is attached on the west elevation and features the same turquoise panels used elsewhere on the campus. The John R. Buuck Field House, Center for Environmental Stewardship, and a residence (Coburg Hall) were constructed after 1982, and are located outside the campus' historic core, along with athletic fields and parking lots.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Formerly known as Notre Dame of the Lake, the campus of the School Sisters of Notre Dame housed a convent and a progressive alternative day school. It was designed by well-known Milwaukee architects Brust & Brust, at one time the largest architectural firm in Wisconsin.⁴ Concordia University purchased the property in 1982, and though a number of newer buildings have been added, the historic portion of the campus retains a high degree of integrity and is potentially eligible under *Criterion C: Architecture* as an example of a Modern educational campus. Further investigation may yield significance under *Criterion A: History* for the property's role as an alternative school. No evidence was found to suggest that the property is eligible under *Criterion B: Significant Person*. A DOE is recommended for this property.

⁴ Architect John Brust discussed the construction methods of the campus buildings in an advertisement for Dow Chemical's Styrofoam insulation, published in *Progressive Architecture*, October 1958, p. 72.

Address	AHI #	Map Code	NRHP Evaluation
12540 N. Port Washington Road, Mequon	222337	222337	Not Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 17 NW ¼ SW ¼

Description

Built in 1935, this one-and-one-half-story, rectangular-plan, side-gable house displays elements of the Tudor Revival style, such as the steeply pitched roof, ashlar stone veneer cladding, narrow multi-light casement windows, and arched stone entryway. A central cross-gable on the west-facing main elevation contains the main entrance, below a single window in the peak of the gable. A one-car garage is attached to the northwest corner of the house. A one-story addition with an exterior stone chimney is attached to the south end of the house. A small ell is attached to the rear. The c.2012 standing-seam metal roof has raked eaves and very little overhang. A stone exterior-end chimney is attached to the south gable end. Fenestration is regular; window openings have stone sills and contain eight-light metal casement sash.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. Based on research, the house is not associated with any historical context that would render it eligible under *Criterion A: History*. Though it retains integrity, the house lacks most of the character-defining features of the Tudor Revival style and is a vernacular form. As such, it does not possess sufficient architectural interest to qualify as eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
800 Dandelion Ln., Mequon	70825, 70826	70825, 70826	Potentially Eligible

Township-Range-Section (Rural Properties Only)

9N 22E Section 17 NW ¼ SE ¼

Description

The Christoph Blaubach house (AHI# 70825), built in 1856, is a one-and-one-half-story, rectangular-plan, side gable building whose main elevation faces south onto Dandelion Lane. The main block is built of square, hewn logs with dovetailed corners and wide chinking. Two continuous wings are attached to the east elevation, clad in clapboard, the second of which was added after 1986. The log structure of the main block is exposed on the south elevation, though the other exterior walls are clad in clapboard. The moderately pitched gable roof has open, raked eaves; is covered with wood shingles; and a small central cream brick chimney pierces the ridgeline of the main block. Window openings have plain casings and typically contain wood, six-over-six, double-hung sash. Two six-light casement units are found beneath the eaves of the main block's main elevation. The first of the two wings has a picture window on its east elevation comprised of a fixed 16-light sash flanked by six-over-six, double-hung units; the gable directly above contains a pair of nine-light casement sash. The most recent wing has paired, six-over-six, double hung windows flanking a secondary entrance. Two small gable dormers are located on the south elevation, with six-over-six, double hung sash. A large exterior-end chimney of cream brick is attached to the east gable end, flanked by quarter-circle lunette windows. A large patio and pergola are located in front of the newest addition.

A c.1850, one-story, gable-ell, L-shaped outbuilding (AHI# 70826) is also located on the property. The walls are built of hand-hewn logs and feature square-lapped corners and wide chinking. The moderately pitched roof is covered with asphalt shingles and has board-batten siding in the gables. At the ell junction on the main elevation, the eaves extend to form an overhang supported by timber posts, which shelters a pair of cross-buck double doors. A single door is also

located on the front gable end. Two small metal ventilators are mounted on the ridgeline of the roof, indicating the building's function as a stable. This outbuilding was constructed c.1981 from materials salvaged from other 1860s log cabins.⁵

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. To date, no evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. The Blaubach House, designated a local historical landmark by the City of Mequon in 1996, is an example of one of the log homes built by the German pioneers in Mequon in the 1840s and 1850s. As such, it is potentially significant under *Criterion A: History* for its role in early settlement and the Lutheran immigration in Ozaukee County. At the time of the 1990 City of Mequon Intensive Survey, the house was evaluated for the National Register and found to be not eligible. Since that time, however, the artificial siding has been removed to reveal the log structural system. The property is also potentially eligible under *Criterion C: Architecture* for its method of construction. The proposed project activities are not expected to extend beyond the existing railroad corridor located east of the I-43 corridor and are not expected to impact the property. Therefore, a DOE is not recommended for this property; however, if the project activities change, the need for a DOE will be reassessed.

Address	AHI #	Map Code	NRHP Evaluation
12311 N. Port Washington Road, Mequon	80223	80223	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

This property is a c.1915, two-and-one-half-story, cross-gable vernacular house whose steep roof pitch and contrasting wall materials display Queen Anne influence. The walls are clad in narrow-width clapboard, and the gable roof is covered with asphalt shingles and has flared eaves, exposed rafter tails, and a moderate overhang. Decorative shingles adorn the gable ends. A hip-roof porch spans the east-facing main elevation, supported by tapered square posts with a plain balustrade. A bay window projects on the south elevation, featuring decorative brackets beneath its eaves. Fenestration is regular, with openings containing replacement vinyl, one-over-one, double-hung sash. A two-story gable-roof ell has been added to the rear, and a one-room gable addition with a large brick chimney extends on the south elevation, surrounded by a large wooden deck. A c.1915 gambrel-roof bank barn is located at the rear of the property, though no other agricultural buildings are present.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Based on research, the house is not associated with any historic context that would qualify it under *Criterion A: History*. Due to the absence of a collection of early-twentieth-century agricultural outbuildings, the property does not meet the criteria to demonstrate local agriculture as a farmstead. It does possess some architectural interest as one of the larger and more adorned early-twentieth-century residences in the survey area, but the size and scale of the recent additions (though they are compatible with regard to materials and design) diminish the historic integrity and prevent the building from being eligible under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for the property.

⁵ Betty Nelander, "History Reconstructed at Pioneer Homestead," *News Graphic Pilot*, 8 November 1982, County Scene section.

Address	AHI #	Map Code	NRHP Evaluation
806 W. Glen Oaks Ln., Mequon	71754, 71755	71754, 71755	Potentially Eligible

Township-Range-Section (Rural Properties Only)

Description

This property contains a house (AHI# 71754) and a barn (AHI# 71755). Though presently a gable-ell farmhouse, the south-facing front-gable block of the property is a one-and-one-half-story, two-room log cabin built in 1848, with a clapboard ell attached on the east elevation. Resting on a fieldstone foundation, the log structural system is exposed, displaying narrow chinking and dovetailed corners. The gables are clad in clapboard, and the moderately pitched roof has raked eaves and is covered in asphalt shingles. A large modern bay window is centered on the south gable end, and a second is found on the south elevation of the ell, to the right of the main entrance. Most window openings contain historic wood, six-over-six, double-hung sash. A cream brick interior-end chimney pierces the ridgeline of the roof at the east end of the ell, and a second is located at the junction of the main block and ell.

The barn, only partially visible at the time of the survey, is a gambrel-roof bank barn with a fieldstone foundation, vertical wood siding, an asphalt shingle roof, and a sliding door on the west elevation. The ruins of a silo are located at the northeast corner of the barn.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. As a log cabin, the property is potentially eligible under *Criterion C: Architecture* for its method of construction and the high quality of the workmanship. Though the property no longer possesses the concentration of period agricultural buildings necessary to be evaluated as a farmstead, further research may also yield significance under *Criterion A: History* in the context of the Lutheran settlement of the present-day Mequon area. The proposed project activities are not expected to extend beyond the existing railroad corridor located east of the I-43 corridor and are not expected to impact the property. Therefore, a DOE is not recommended for this property; however, if the project activities change, the need for a DOE will be reassessed.

Address	AHI #	Map Code	NRHP Evaluation
726 W. Mequon Road, Mequon	72877, 72878	72877, 72878	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

The property includes a farmhouse (AHI# 72877) and the remains of a stone silo (AHI# 72878). The two-story gable-ell house was built in 1860. The brick walls are painted, and the moderately pitched gable roof has raked eaves and is covered with asphalt shingles. A single-story, hip-roof, enclosed porch in the ell junction shelters the main entrance at the southwest corner. A brick interior-end chimney projects above the ridgeline of the roof of the south-facing front gable. Segmental arch windows feature dentilated brick lintels, and openings contain vinyl, one-over-one, double-hung replacement sash. A small, one-story rear addition is attached to the north elevation. The c.1885 silo is built of limestone rubble and lacks a roof.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. While the house has some architectural interest for the decorative brickwork of the window treatment, it is a common example of the gable-ell form. Due to the enclosed porch and replacement windows, it does not retain sufficient integrity to qualify as eligible under *Criterion C: Architecture*. Though the silo's construction is unusual for the area, the property no longer possesses the concentration of period agricultural buildings necessary to be evaluated as a farmstead and is not eligible under *Criterion A: History*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
828 W. Mequon Road, Mequon	72879	72879	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

The Zinke House, built in 1897, is a two-story, rectangular-plan, vernacular residence that features a steeply pitched roof, contrasting wall materials, and numerous decorative elements typical of the Queen Anne style. With walls clad in narrow-width clapboard and an asphalt shingle roof, the side-gable main block has a large projecting intersecting gable centered on its south-facing main elevation. The gable features boxed eaves with returned cornices, verge-boards with an applied vegetal decoration, and a finial at its peak. Above a tripartite window with a dentilated lintel, the wall surface is clad in fish-scale wood shingles. Below, the projecting gable has cutaway corners with a dentilated belt course separating the upper and lower stories. On either side of the gable, the eaves have been extended to shelter two mirrored Craftsman-influenced porches (c.1920) supported by battered wood posts resting on brick supports. The wooden balustrade has decorative cutouts and the brick stoops are capped in concrete. The main entrance, accessed from the right-hand porch, consists of a four-light glazed wooden door with sidelights and transom. Windows are wood, three-over-one, double-hung sash with wooden storm windows on the exterior. A c.1920, detached, one-car garage with a clipped gable roof is located east of the house. The c.1900 carriage barn (AHI# 72880) to the rear of the garage was partially demolished c.2005.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. While it does possess some architectural interest as one of the more ornate turn-of-the-century buildings in the survey area, the house does not exhibit the asymmetrical massing that is a character-defining feature of most true Queen Anne buildings. The underlying vernacular form has been obscured by the later addition of the porch, which represents a significant stylistic departure rather than a transitional fusion of multiple styles. Due to this general lack of clarity and cohesion, the house does not exemplify any particular style and is not eligible under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
902 W. Mequon Road, Mequon	72881, 72882	72881, 72882	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

Built in 1890, this two-story, rectangular-plan, side-gable vernacular residence (AHI# 72881) has a steeply pitched roof, contrasting wall materials, and decorative elements showing the influence of the Queen Anne style. Walls are clad in clapboard and the roof is covered with asphalt shingles. The house has a large projecting intersecting gable centered on its south-facing main elevation. The gable features boxed eaves with returned cornices, verge-boards with an applied vegetal decoration, and a finial at its peak. A paired of narrow, one-over-one, double-hung, vinyl windows is recessed and the wall plane curves inward on either side to meet the edge of the casing. Above the window, the gable's wall surface is clad in decorative wood shingles, though the other walls are clad in vinyl siding. The main entrance is located on the south elevation immediately to the right of the projecting gable. Window openings contain vinyl, one-over-one, replacement sash. A small side-gable carriage barn (AHI# 72882) is located at the rear of the house. Clad in vertical wooden siding, it has sliding door centered on the south-facing main elevation, a moderately pitched asphalt roof, and a small intersecting gable dormer with scalloped verge-boards and an octagonal window opening containing wood lattice.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*, and the property lacks a collection of period agricultural buildings necessary to be evaluated as a farmstead under *Criterion A: History*. The house features some decorative elements, but is a vernacular example of a common form. Alterations such as replacement siding and replacement windows detract from the overall integrity, and the property is not eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
10606 N. Port Washington Road, Mequon	222326	222326	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

Built in 1966, this commercial property was formerly Christ Lutheran Church of Mequon. The single-story Contemporary building is comprised of a rectangular main sanctuary block connected to an L-shaped classroom or community wing by a small hyphen at the rear (east) elevation. The main block has a concrete foundation, walls clad in stone veneer, and a steeply pitched, asphalt-shingled roof with curving, flared eaves whose broad overhangs are supported by large exposed rafter beams resting on stone veneer buttresses. Between the buttresses, the wall planes of both eaves sides are composed entirely of tall narrow windows interspersed irregularly with solid panels of similar width. The flat-roofed hyphen continues the buttresses and rafter beams of the sanctuary, and the main entrance is located where the hyphen meets the wing, containing a large glass double-door. The side-gable wing has walls clad in vertical wooden siding and a pent roof wraps around the gable ends. Window openings contain pairs of tall single-light fixed sash above small awning sash. A steeple appears to have been removed from the ridgeline of the roof at the south elevation, and the property now functions as a private business rather than a religious property.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The property no longer has its character-defining steeple, and as a vernacular example of a small Contemporary church, it lacks sufficient architectural interest to qualify as eligible for the National Register under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property

Address	AHI #	Map Code	NRHP Evaluation
10352 N. Port Washington Road, Mequon	74192	74192	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

Currently operating as the Centennial Bar and Grille, this property is a large vernacular building comprised of a c.1890 west-facing main block with smaller dependencies on the east and south elevations and a large addition to the south. The two-story, rectangular-plan, front gable main block has a concrete block foundation, walls clad in clapboard, and a moderately pitched roof. A flat-roofed front porch spans the main elevation, with a fiber cement deck and Tuscan columns with a spindle balustrade; a similar balustrade also runs along the perimeter of the porch roof. The porch shelters the main entrance, located on the cutaway northwest corner. The gable contains a paired window with a dentilated cornice lintel and decorative wood shingles. A two-story intersecting gable-roof ell is attached to the south elevation and also features decorative wood shingles in the gable. A two-story, truncated hip-roof addition fills the junction of the main block and ell on the southwest. A small, one-and-one-half-story rear addition on the east elevation has a low-pitched gable roof supported by decorative brackets, decorated with a band of wood shingles above a belt course. A large, single-story, gable-roofed, rectangular block is attached to the south gable of the ell. Window openings contain vinyl, one-over-one, double-hung replacement sash, with the exception of single-light awning sash in the south block's west gable end. The business was closed at the time of the survey, making it impossible to review the interior for any historic features.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Despite the fact that it is one of relatively few extant older buildings in what is now a heavily developed commercial area, there is no evidence to suggest that the building played an important role in the development of the area. Therefore, the property is not eligible for the National Register under *Criterion A: History*. The property is a vernacular example with multiple historic and non-historic additions and alterations, and lacks sufficient architectural interest or integrity to be considered eligible for the National Register under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
10404 N. Port Washington Road, Mequon	74193	74193	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

Currently operated as Ferrante's Restaurant, this property is a c.1900, two-story, rectangular-plan, front-gable commercial building with a brick foundation and walls clad in clapboard. The moderately pitched gable roof has boxed, returned eaves and is covered in asphalt shingles. The closed gable is clad in wood shingles and contains paired, one-over-one,

double-hung replacement windows with a cornice lintel. A shallow hip-roof overhang shelters a partially enclosed porch spanning the west-facing main elevation. A single-story, shed-roof wing is attached on the north elevation; its eaves extend to cover a handicap ramp leading to a secondary entrance on the addition's west elevation. The south elevation features a bay window. Window openings contain vinyl, one-over-one, double-hung replacement sash and have non-functional shutters. A small central chimney pierces the ridgeline of the roof. A c.1925 detached hip-roof garage is located at the rear of the property. The portion of the first floor that includes the bar and dining room was publicly accessible at the time of the survey. The interior retains some historic wall surfaces, including bead-board wainscoting and a chair rail. Most interior fabric is not original, and the floor plan has been altered to meet the needs of the current restaurant.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. The property is a vernacular building whose additions and alterations affect the overall integrity. Originally a general store, the interior does not retain any features suggestive of its historic function.⁶ There is no evidence that the building played an important role in the initial development of the area; therefore, the property is not considered eligible under *Criterion A: History*. The property lacks sufficient architectural interest or integrity to be considered eligible for the National Register under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
Chalet Motel, 10401 N. Port Washington Road, Mequon	222331	222331	Potentially Eligible

Township-Range-Section (Rural Properties Only)

Description

The Chalet Motel was built in 1958 and consists of a complex of four, two-story buildings that include guest accommodations, a motel office, and a restaurant/lounge. Built close to a major thoroughfare, the property displays many of the typical characteristics of mid-century roadside motels, including long, low buildings grouped around a large parking area, exterior doors to guest rooms, and a café or dining establishment on the premises. The complex faces east, with three guest buildings arranged end-to-end and the restaurant sited perpendicularly at the north end of the parking lot. All four buildings feature Chalet-style details; walls are clad in board-and-batten siding, and the low-pitched, side-gable, asphalt roofs have exposed rafter tails. Intersecting gables have decorative verge-boards, and heavy knee braces at the peaks are surmounted by finials. A walkway providing access to the second-floor rooms is sheltered by the overhang of the eaves; heavy timber posts support both the walkway and eaves, and the second-story balustrade features decorative cutouts. Window openings contain pairs of historic wood, four-over-four, double-hung sash behind wood storm windows, with decorative board-and-batten shutters flanking each pair. Oversized decorative metal lanterns are mounted at the ends of each of the guest room buildings.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Prior to the construction of I-43, N. Port Washington Road was a main route used by residents of the greater Milwaukee area who vacationed in northern Wisconsin. Though the sign has been replaced, the Chalet Motel otherwise retains a high degree of integrity and is potentially eligible for the National Register under *Criterion A: History* for its role as a mid-century roadside motel. The

⁶ Indicated by historic photographs of the building's exterior, displayed in the restaurant dining area.

motel is one of the only surviving examples of this property type in the vicinity and may also be eligible under *Criterion C: Architecture* as a good, intact example of a mid-century motel complex. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person*. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
9441 Pheasant Ln., River Hills	222329	222329	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

Built in 1938, this one-and-one-half-story, Tudor Revival residence has the steeply pitched roof; large, prominent, elaborated chimney; narrow multi-pane windows; and multiple front gables typical of the style. The walls are clad in variegated brick veneer and the roof is covered with asphalt shingles. A large front gable projects on the east-facing main elevation, with a smaller gable set slightly back and partially overlapped at the eaves. The main entrance, located on this smaller gable, has a flattened pointed-arch doorway of rusticated stone. Large intersecting gables on the north and south elevations have clipped gable roofs. An exterior brick chimney is attached to the southern elevation. Window openings contain a mixture of eight-light casement sash and wood, six-over-six, double-hung sash, with flat brick lintels and sills. A gabled wing at the rear has a raised roofline, and the upper-story walls are clad in wood shingles.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Part of a small cluster of contemporaneous Tudor-inspired homes on Pheasant Lane, the house is a modest interpretation of the Tudor Revival style and does not possess enough architectural interest to be eligible for the National Register under *Criterion C: Architecture*. The cluster of properties did not have enough integrity to be evaluated as a district. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
9415 Pheasant Ln., River Hills	222328	222328	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This c.1938, two-story, front gable residence displays some Tudor Revival influences. Built on a concrete foundation, the walls are clad in variegated brick veneer, and the steeply pitched gable roof is covered with asphalt shingles. A small gable entry porch with an arched stone doorway projects on the east-facing main elevation, to the right of a prominent bay window. The front gable features decorative vergeboards, and a large cross-gable dormer is centered on the south eave side. A wall fountain made of glazed terra cotta tile is located on the south elevation, near the southeast corner, with a spout in the form of a lion's head surrounded by tiles molded with cross and Tudor-rose motifs. Arched brick window openings have cast stone sills and contain six-over-one, leaded-glass sash with arched tops. A detached garage is located south of the house.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Part of a small cluster of contemporaneous Tudor-inspired homes on Pheasant Lane, the house lacks the form and massing typical of a true Tudor

Revival residence, and the overall level of design is not sufficient to qualify it as eligible for the National Register under *Criterion C: Architecture* as an example of Tudor Revival residential architecture. The cluster of properties did not have enough integrity to be evaluated as a district, and no evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
9365 Pheasant Ln., River Hills	222330	222330	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

Built in 1938, this one-and-one-half-story Tudor Revival Cottage (a subtype often referred to as a Cotswold Cottage) displays many of the characteristic features of that Tudor Revival subtype, with its asymmetrical facade, grouped multi-pane windows, steep roof-line, half-timbering, dormers, and massive side chimney, as well as the small scale and picturesque appearance that sets it apart from the more general Tudor Revival style. The walls are clad in Lannon stone veneer, and the roof is covered with asphalt shingles. The east-facing main elevation has a single-story entry portico with a half-timbered gable supported by corbelled square timber posts and open at the sides, partially engaged by the house's projecting front gable on the right and flanked on the left by a small, half-timbered gable dormer. A large stone exterior chimney is attached to the north gable end, and a shed-roof dormer spans the rear slope of the roof on the west elevation. Window openings have keyed jack-arch lintels and stone sills and contain paired wooden double-hung sash in a variety of configurations; upper story sash is six-over-six, while lower-story sash is typically six-over-nine, with the exception of the eight-over-twelve sash in the front gable.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Part of a small cluster of contemporaneous Tudor-inspired homes on Pheasant Lane, the house retains a high level of integrity, though it lacks a level of design that would qualify it as eligible for the National Register under *Criterion C: Architecture*. The cluster of properties did not have enough integrity to be evaluated as a district. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
1125 W. Fairy Chasm Road, River Hills	222327	222327	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

This property is a c.1940, two-story, gable-ell residence with Colonial Revival influences. Walls are clad in cream brick, and the steeply pitched gable roof has raked eaves and is covered with wood shingles. A projecting enclosed entryway is located on the north-facing main elevation at the junction of the ell and main block. The gable-roof entryway has a Federal-style door surround with a broken-scroll pediment above a dentilated architrave, supported by fluted pilasters. Lower story window openings contain paired units with nine-over-nine, leaded glass sash behind vinyl storm sash. Upper story openings contain single nine-over-nine sash in the gable ends and six-light casement sash on the eaves sides. Eave-side windows are positioned just below the frieze boards, but other openings on the main elevation have large

dentilated cornice lintels. A cream brick exterior chimney is attached to the east side of the main block, though it has been removed above the level of the roof. A semicircular window is located beneath the peak of the front gable.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. Though an example of Colonial Revival architecture in the community, it is a modest example and lacks sufficient architectural interest to qualify as eligible for the National Register under *Criterion C: Architecture*. No evidence was found to suggest that the property qualifies as eligible under *Criterion B: Significant Person* or *Criterion A: History*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
600 W. Brown Deer Road, Bayside	131146	131146	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

This 1929, two-story commercial building is clad in stone veneer. Displaying features of both Tudor and Spanish Eclectic Period Revival styles, the hip roof is clad in tile and features a steeply-pitched, single-story projecting central gable with flared eaves, flanked by wall dormers. The gable shelters a recessed round arch entryway with an inset round arch window above. Window openings on the lower story are arched and grouped in threes, while those on the second story contain paired, one-over-one, double-hung sash. A single-story hip-roofed wing projects from the east side of the building.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. While relatively intact, the building is a modest example of a twentieth-century Period Revival commercial building and does not qualify as potentially eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
614 W. Brown Deer Road, Bayside	131147	131147	Not Eligible

Township-Range-Section (Rural Properties Only)

Description

This three-story commercial building was constructed 1968 in the New Formalist style, which was commonly used beginning in the 1960s for commercial buildings and banks. The south-facing main elevation displays the most identifying feature of the style, a repeating Classically-inspired concrete arch motif. Large, tinted plate glass windows fill the spaces between arches. Side elevations are faced with brick and contain regularly spaced full-height bays with one-over-one, double-hung sash windows set in vertical bands of concrete. The primary entrance is located at the southwest corner of the building beneath a flat concrete slab roof with concrete arch supports.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. The property was resurveyed, as it represents a style that is not common in the area. Although a largely intact example of New Formalism, the building is a

modest expression of the style and is less than 50 years old; therefore, it does not qualify as potentially eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
7878 N. Port Washington Road, Fox Point	8749	8749	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This c.1900, two-story, rectangular-plan, front-gable house rests on a stone foundation, with walls clad in clapboard siding. The moderately pitched gable roof has raked eaves and is covered in asphalt shingles. A gable entry porch shelters the main entrance in the right bay of the main elevation. The roof is supported by square wooden posts resting on brick knee walls capped in concrete, and the gable end is clad in board-and-batten siding. The left bay has contains a large modern picture window. Two second-story windows contain one-over-one, double-hung wood sash.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property is eligible under *Criterion A: History* or *Criterion B: Significant Person*. The building's vernacular form lacks sufficient architectural interest and integrity to qualify as eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
7877 N. Port Washington Road, Fox Point	222369	222369	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

St. John's Lutheran Church is a Gothic Revival church constructed in 1928. Square towers with battlements flank a tripartite recessed entry porch in the gable of the east-facing main elevation. The bell tower at the northeast corner is considerably taller than the southwest tower. Transept gables project minimally from the north and south elevations. Walls are clad in brick with stone accents and parapet gables, and the large pointed arch windows and doorways feature stained glass and decorative stone tracery. According to corner stones, one-story additions were made to the original building in 1956, 1963, and 1992. This includes a large wing for St. John's Lutheran School.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. The multiple additions dwarf the original church, which does appear to be mostly intact, but ultimately lacks sufficient architectural interest as an early-twentieth-century Gothic Revival building to qualify as potentially eligible under *Criterion C: Architecture*, applying *Criteria Consideration A: Religious Properties*. A DOE is therefore not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
7963 N. Port Washington Road, Fox Point	222368	222368	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This 1937, one-and-one-half-story, irregular-plan Bungalow rests on a rusticated concrete block foundation. Lower story walls are clad in narrow-width clapboard, separated from the wood-shingled upper story walls by a belt course. The asphalt-shingled clipped gable roof has wide eaves with exposed rafter tails and an off-center hip dormer. A hip-roof porch that extends from the front (east) elevation is supported by battered posts resting on rusticated concrete block piers. Fenestration includes six-over-one, double-hung, wood sash windows throughout. The former residence was converted to commercial use at an unknown date.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. The building lacks sufficient architectural interest as a Bungalow to qualify as potentially eligible under *Criterion C: Architecture*. A DOE is therefore not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
8223 N. Port Washington Road, Glendale	222366	222366	Potentially Eligible
Township-Range-Section (Rural Properties Only)			

Description

The Congregation Sinai Synagogue was built in 1961 and exhibits characteristics of the Neo-Expressionist style, which is common for religious buildings built during the era.⁷ The asymmetrical building has a sculptural form that contains dramatic, irregular shapes with the tendency to avoid right angles. Its west wing features a prominent, curved, blank stone wall and an inclined cantilever roof. Fenestration includes clerestory windows and large fixed pane expanses. The east wing also has a large curved stone wall, though it is marked with a single, center row of small square windows. The roof is V-shaped and overhangs west-facing clerestory windows. The north walls of the east wing are mostly glass with a rectilinear muntin pattern. A one-story, brick-clad hyphen links the east and west wings. The rear, north wing of the building is a simple gable structure that appears to be a modern addition.

Statement of Significance

The Congregation Sinai Synagogue was evaluated for the National Register under *Criteria A, B, and C*. No evidence was found to indicate the building has any level of significance for *Criterion A: History* or *Criterion B: Significant Person*. The building is potentially eligible under *Criterion C: Architecture*. When applying *Criteria Consideration A: Religious Properties*; the building represents an intact mid-century Neo-Expressionist design with its lack of symmetry, dramatic shapes, cantilevered roofs, curved walls, and lack of right angles. A DOE is recommended for this property.

⁷ Source: date stone at main entrance.

Address	AHI #	Map Code	NRHP Evaluation
7650 N. Pheasant Lane, River Hills	222365	222365	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

The River Hills Village Hall was designed by Harry Bogner and built in 1939 as a Public Works Administration (PWA) project.⁸ Since the building's initial construction, it has undergone numerous additions and alterations. The original portion is a two-story gable-ell clad in stone and featuring Colonial Revival details, such as cornice returns, a cupola, gable end chimney, and Chippendale railings. Windows are replacement four-over-four, six-over-six, and eight-over-eight double-hung sash throughout, often in groups of two or three. The remainder, and now majority, of the building is an irregular, piecemeal collection of various additions, which include several wings and a garage. The first addition, on the south east side of the original structure, is constructed of concrete block with aluminum siding. The second and third additions are wood frame construction while the garage is constructed of concrete block. None of the additions contain strong Colonial Revival details.

Statement of Significance

The building was evaluated for the National Register under *Criteria A, B, and C*. Though the building was funded as a PWA project, the building is not significant under *Criteria A: History* because of the substantial loss of historic integrity incurred as the result of multiple additions. Similarly, there is no evidence to suggest that this property would be eligible under *Criterion B: Significant Person*. The loss of historic integrity incurred as the result of multiple additions and alterations also renders it ineligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
7650 N. Pheasant Ln., River Hills	222364	222364	Potentially Eligible
Township-Range-Section (Rural Properties Only)			

Description

The 1962 River Hills Department of Public Works building was designed by the architectural firm of Spinti & Spinti of Milwaukee, Wisconsin, in a modest Neoclassical style.⁹ The square, one-story main block is clad in brick and features a massive central chimney projecting above a moderately pitched hip roof. The roof is covered in slate, and has a minimal overhang above a wide, dentilated wood cornice. The central main entrance features a round arch doorway with pair of six-panel wooden doors below a semicircular single-light transom. The main block is flanked by two smaller, flat-roof wings, each with shallow coping at the roofline above a dentiled brick cornice. Window openings contain one-over-one, double hung sash with replacement snap-in muntins, stone sills, and brick jack-arch lintels. A serpentine brick wall continues from the wings, featuring the same dentiled brick cornice, and encloses a courtyard and equipment storage sheds.

Statement of Significance

The property was evaluated for the National Register under *Criteria: A, B, and C*. There is no evidence to suggest that this property is eligible under *Criterion B: Significant Person*. Further research may yield significance under *Criterion A:*

⁸ Zimmerman, 44-45.

⁹ A book containing the original specifications for the construction of the facility was dated 1962.

History for its association with the history of public works in River Hills. The building may also qualify as eligible under *Criterion C: Architecture* as an intact example of a classically-inspired public building design. A DOE is recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
7575 N. Port Washington Road, Fox Point	222363	222363	Potentially Eligible
Township-Range-Section (Rural Properties Only)			

Description

Phillips 66 opened in 1953 and the following year unveiled its service station form that would be standard throughout the time period.¹⁰ This 1965 International Style gas station displays several character-defining features of the standard mid-century design used by Phillips 66 service stations, including an oblong form, an upwardly projecting triangular canopy, and large sloping plate glass windows, which dominate the facade. Two angled garage bays are located at the south end of the building beneath a slightly sloped, overhanging flat roof. Exterior walls are constructed of concrete block. The canopy shelters eight gas pumps.

Statement of Significance

The property was evaluated for the National Register under *Criteria: A, B, and C*. There is no evidence to suggest that this property is eligible under *Criterion A: History* or *Criterion B: Significant Person*. The building may qualify as eligible under *Criterion C: Architecture* as an intact example of a standardized mid-century gas station form utilized by Phillips 66. A DOE is therefore recommended.

Address	AHI #	Map Code	NRHP Evaluation
400 W. Brentwood Ln., Glendale	222362	222362	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This intact one-story Ranch house with a rectangular plan and an integrated garage was constructed c.1950. It is clad in brick and stone veneer and has a side-gable roof covered with asphalt shingles. The facade is highlighted by a large exterior stone chimney, a recessed front entry flanked by curved brick walls, and a front porch with plain classical columns. Fenestration includes grouped casement windows throughout.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. Though the building is intact, it lacks sufficient architectural interest as an example of the Ranch style, and therefore does not qualify as potentially eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

¹⁰ W. Dwayne Jones. *A Field Guide to Gas Stations in Texas*. (Austin, TX: Prepared for Texas Department of Transportation, Environmental Affairs Division Historical Studies Report No. 2003-3, 2003), 90.

Address	AHI #	Map Code	NRHP Evaluation
400 W. Bender Road, Glendale	222361	222361	Potentially Eligible
Township-Range-Section (Rural Properties Only)			

Description

The North Shore Water Filtration Plant was constructed in 1962 to serve as the water treatment facility for the post-World War II suburb of Glendale. The building's main two-story block exhibits many identifying Modern design qualities, such as an irregular horizontal form, saw-tooth roof, wide expanses of aluminum frame windows, and a mix of brick and stone cladding. One-story wings with overhanging flat roofs extend to the north and west off the main block. The west wing was added c.1970 and has a long horizontal roof, while the north wing has a saw-tooth roof. An addition in the rear of the building is not visible from the main road, providing minimal impact on the overall integrity.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. Under *Criterion C: Architecture*, the building has architectural interest and retains historic integrity. Further research is needed to determine if it qualifies as eligible as an intact example of a mid-century Modern public services building. A DOE is therefore recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
403 W. Bender Road, Glendale	222359	222359	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This one-story-cube residence was constructed in 1929 and is clad in brick laid in a decorative bond pattern. The hip roof is covered with asphalt shingles and features a central hip-roof dormer. Fenestration includes narrow round arch windows throughout with soldier brick surrounds, stone keys, and concrete sills. An enclosed hip-roof entry porch with a segmental arch doorway projects off-center to the front, balanced by a triple window on the main block, flanked by stone roundels.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property is eligible under *Criterion A: History* or *Criterion B: Significant Person*. While it does possess some interesting decorative details, it is an example of a common vernacular form and is not eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
6429 N. Santa Monica Boulevard, Whitefish Bay	222358	222358	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This two-story, rectangular-plan, front-gable house was constructed in 1927 in the Dutch Colonial Revival style. Full-width shed dormers span the gambrel roof's eave sides and feature returned cornices on their gable ends. The lower story is

faced with brick while the dormers and gable ends are clad in wood shingles above a pent roof. First-story windows are wood, six-over-one, double hung sash, and second-story windows are replacement one-over-one, double hung sash. The gambrel front contains a semicircular window with a keystone. The front entry is in the left bay, sheltered by a gabled overhang projecting from the pent roof.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property is eligible under *Criterion A: History* or *Criterion B: Significant Person*. The building lacks sufficient architectural interest and is not a strong example of the Dutch Colonial Revival style. As such, this property does not qualify as potentially eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
6465 N. Santa Monica Boulevard, Whitefish Bay	222357	222357	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

This two-story Contemporary-style house was constructed c.1950. The asymmetrical design emphasizes horizontality with its overhanging flat roof and horizontal wood siding. A one-story, flat-roofed wing off the south elevation contains a recessed front entry and garage. Fenestration includes grouped casement and fixed windows throughout. A large front-facing picture window on the north end of the first story appears to have been removed and replaced with brick infill.

Statement of Significance

The property was evaluated for the National Register under *Criteria A, B, and C*. There is no evidence to suggest that this property would be eligible under *Criterion A: History* or *Criterion B: Significant Person*. Although mostly intact, the house lacks sufficient architectural interest to demonstrate the Contemporary Style and does not qualify as potentially eligible under *Criterion C: Architecture*. A DOE is not recommended for this property.

Address	AHI #	Map Code	NRHP Evaluation
6255-6401 N. Santa Monica Boulevard, Whitefish Bay	9322, 173662	9322, 137662	Not Eligible
Township-Range-Section (Rural Properties Only)			

Description

There are several buildings associated with the 28-acre Karl Jewish Community Center complex, with dates of construction ranging from 1917 to recent decades. The original, 1917 building is in the Tudor Revival style and was constructed to serve as the Milwaukee Country Day School. During the early twentieth century, country day schools were intended to provide educational experiences outside of an urban environment, in rural or suburban settings. It is clad in brick with stone accents and has a side-gabled slate tile roof with parapets. A parapet gable projects at the front, flanked by a braced shed-roof entry with a Tudor arch doorway. The large window openings across the facade are either rectangular or feature a segmental arch, and contain one-over-one sash windows in groups of two, three, or four. An attached gymnasium was constructed in 1919 to the rear, west of the original building. Its design features a trapezoidal roof shape and six large side window bays between brick piers. A second building on the complex was designed by

architect Fitzhugh Scott in the Tudor Revival style and was constructed in 1931 to serve as the Junior School.¹¹ It has a U-shape plan with cross gables and hipped dormers. The building is clad entirely in brick apart from the gables, which are each adorned with decorative half-timbering. Other identifying features of the Tudor Revival style exhibited by this building include Tudor arch doorways, oriel windows, brick buttresses, and stacked chimneys. A large addition was made to the building in 1933, also designed by Fitzhugh Scott and in the Tudor Revival style.¹² The Milwaukee Country Day School merged with the Milwaukee Downer Seminary and Milwaukee University School in 1964, after which this building became the University Day Senior School. The property was sold to the Milwaukee Jewish Federation in 1985. Both buildings received large modern additions at that time, which constitute nearly 70 percent of the overall footprint. Since then, the complex has continued to function as the Milwaukee Jewish Day School.

Statement of Significance

The complex was evaluated for the National Register under *Criteria A, B, and C*. The country day school movement emphasized undeveloped landscapes outside of urban environments, and this setting was essential to their model of education. The high level of recent commercial and residential development surrounding the complex has substantially altered the school's setting, resulting in a loss of integrity under *Criterion A: History*. There is no evidence to suggest that this property would be eligible under *Criterion B: Significant Person*. Multiple additions and alterations have also diminished the integrity of the historic portions of the building to too great of a degree to qualify it as potentially eligible under *Criterion C: Architecture*. A DOE is therefore not recommended for this property.

2. X No Listed, Eligible, or Potentially Eligible Historic District(s) Identified – Check the box at left if there is no historic district present. Do not check this box if a historic district was identified during survey activities.

3. Listed, Eligible, or Potentially Eligible Historic District(s) Identified – After reviewing the *WisDOT Survey Manual* and *WisDOT Historic District Survey Methodology*, complete the following for each historic district.

A. Historic District Status

- ☐ 1. Listed or previously determined eligible historic district – Complete Section 2 on WisDOT Form DT1446 (Cover Sheet). **Do not** complete B-F below.
- ☐ 2. Previously identified historic district(s) present – For each district, complete B-F below.
- ☐ 3. Potential historic district(s) identified during fieldwork – For each district, complete B-F below.

B. Location

Historic District Name	
City or Town	County
Location – General Street Boundaries	

C. Identification Process

- ☐ 1. Newly identified historic district
 - ☐ Coordinated findings with WisDOT Bureau of Equity and Environmental Services – Correspondence attached.
- ☐ 2. Previously identified historic district – Check all that apply

¹¹ Jennifer L Lehrke and Robert Short. *Village of Whitefish Bay, WI: Architectural and Historical Intensive Survey Report*. (Madison, Wis.: Wisconsin Historical Society, 2010), 114.

¹² Lehrke and Short, 114.

- ☐ a. Intensive survey – Include report author, title, and date: _____
- ☐ b. WisDOT survey – Include project ID, name, and date: _____
- ☐ c. Other – Explain: _____

D. Recommendation – Determination of Eligibility (DOE)

- ☐ 1. DOE recommended – Attach documentation explaining recommendation
- ☐ 2. DOE not recommended; Project will have no effect on potential district – Attach documentation
- ☐ 3. DOE not recommended; Historic district is not eligible – Attach documentation

E. Attachments

- ☐ Historic district sketch map labeled with proposed historic boundary and contributing/noncontributing resources within the APE.
- ☐ Photos sufficient to evaluate integrity
- ☐ Correspondence with WisDOT – Memos, E-mail, and/or letters
- ☐ Architecture and History Inventory (AHI) cards for contributing resources within APE

F. Summary

1. **Architectural Description** – 1-2 paragraphs describing the general setting, architectural styles, and range of property dates within the historic district.
2. **Significance** – 1-2 paragraphs describing significance of district and application of National Register criteria.
3. **Project APE and Historic District Boundary** – 1-2 paragraphs describing the relationship of the project to the district.



Section 106 Review

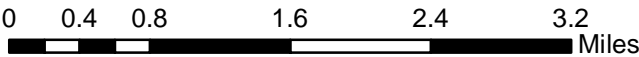
I-43 Milwaukee and Ozaukee counties

Map Index



Legend

-  Area of Potential Effect
-  Map Sheet Boundary





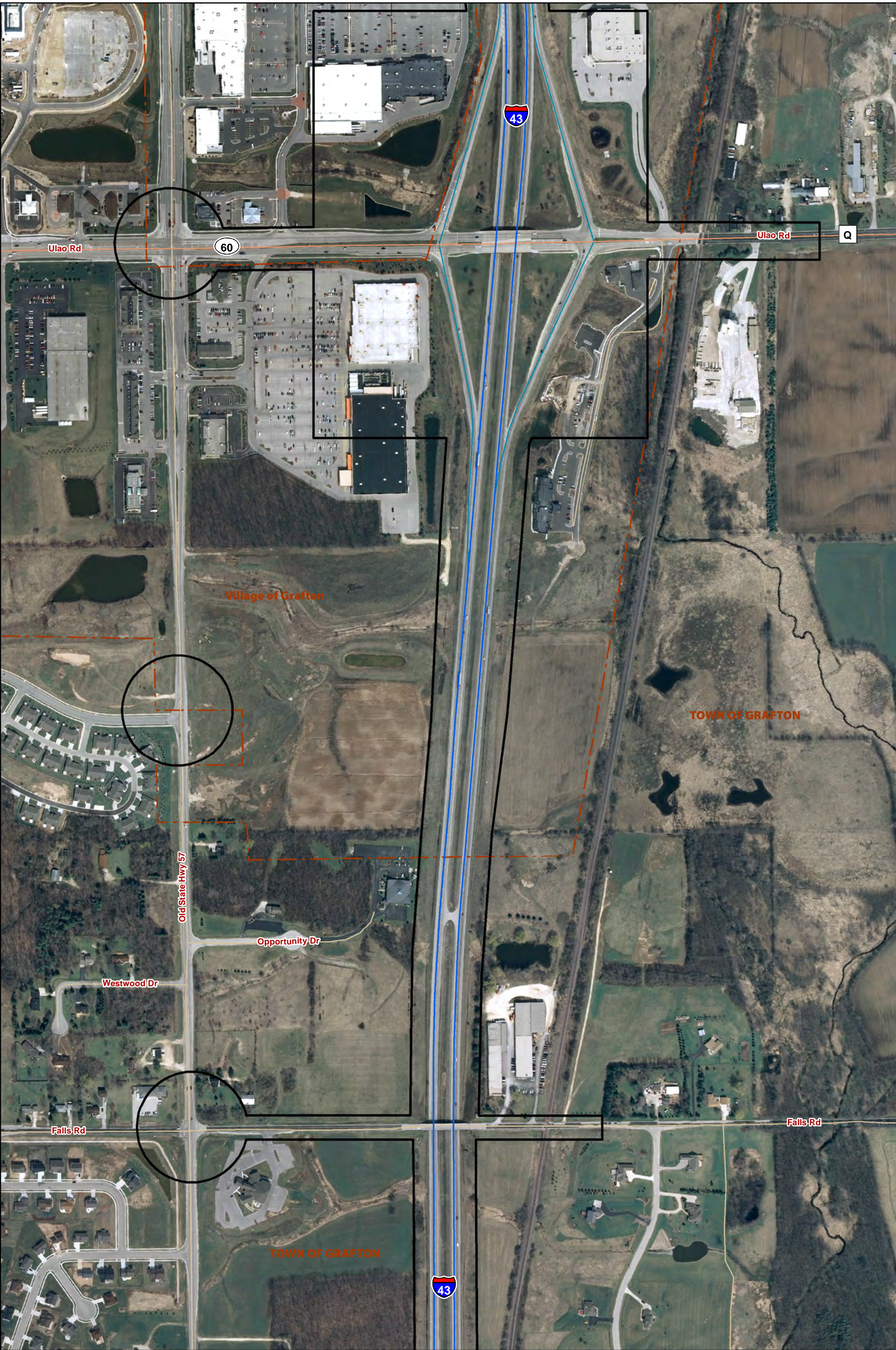
Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

Surveyed Property

Area of Potential Effect

County Boundary

Municipal Boundary

Milwaukee River Parkway

0

200

400

800

1,200

Feet

Page 2 of 15

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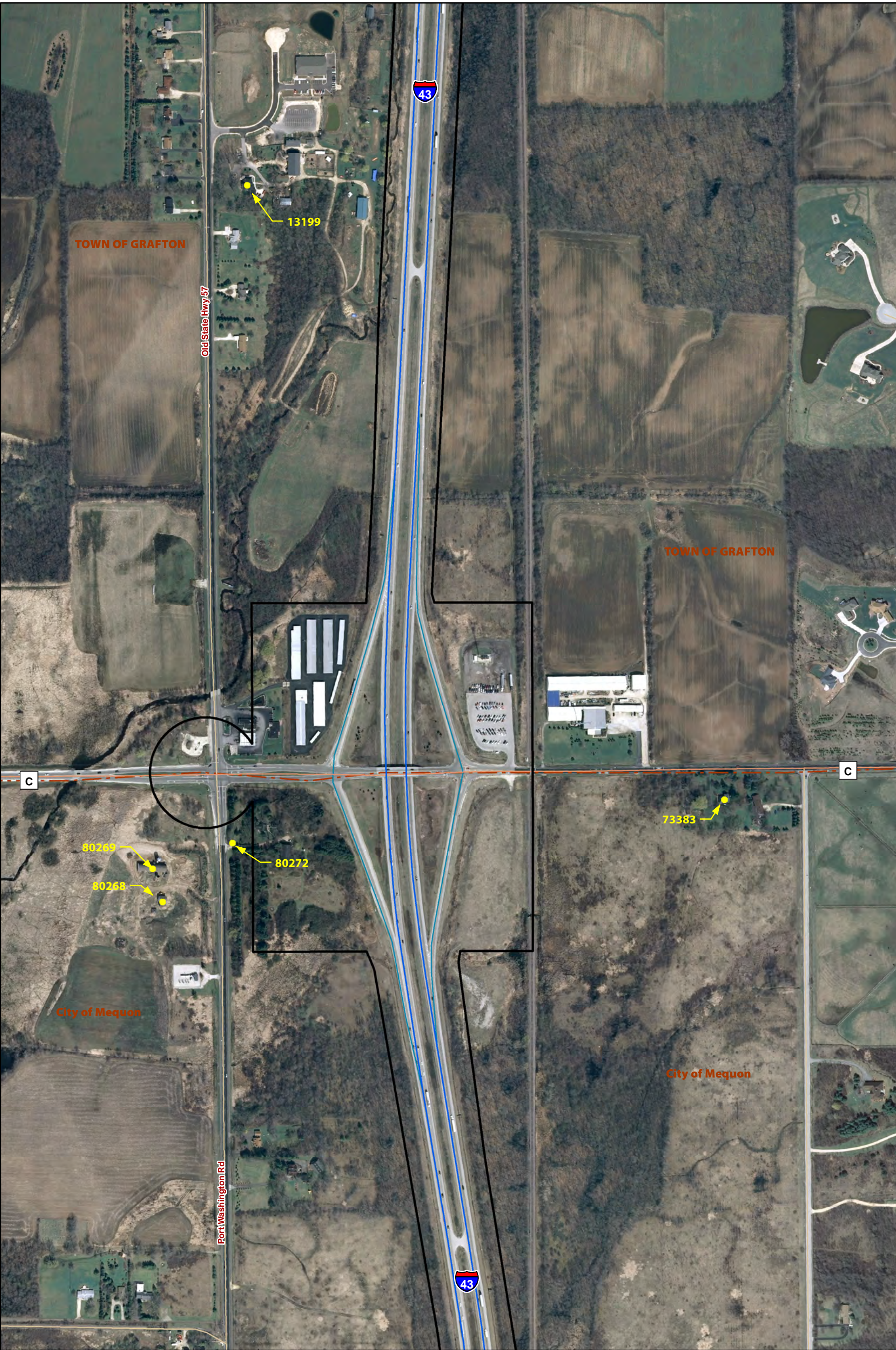
Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

●

 Surveyed Property

▭

 Area of Potential Effect

▭

 County Boundary

 Municipal Boundary

▭

 Milwaukee River Parkway

0

200

400

800

1,200

Feet





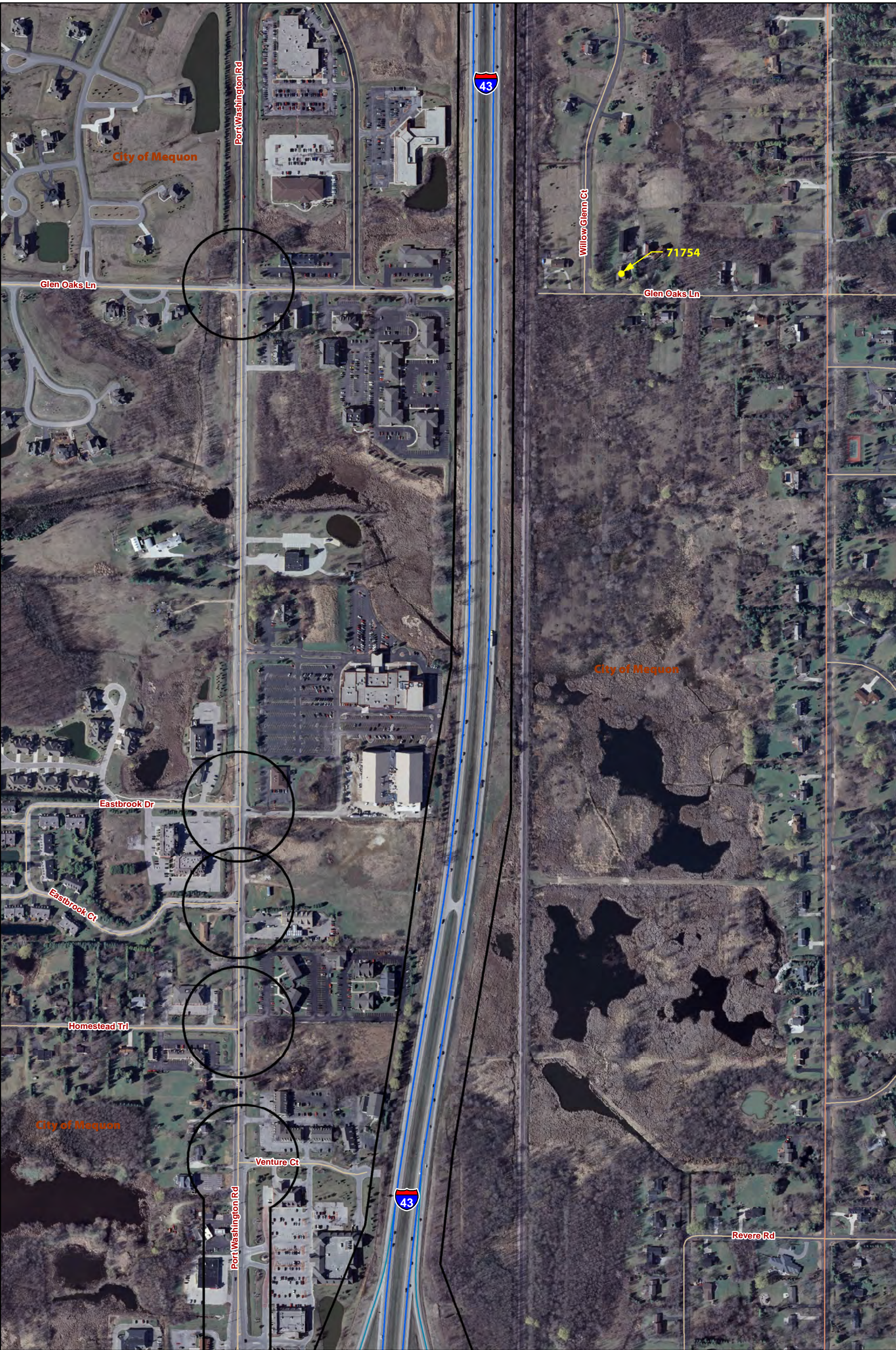
Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

●

 Surveved Property

▭

 Area of Potential Effect

▭

 County Boundary

 Municipal Boundary

▭

 Milwaukee River Parkway

0

200

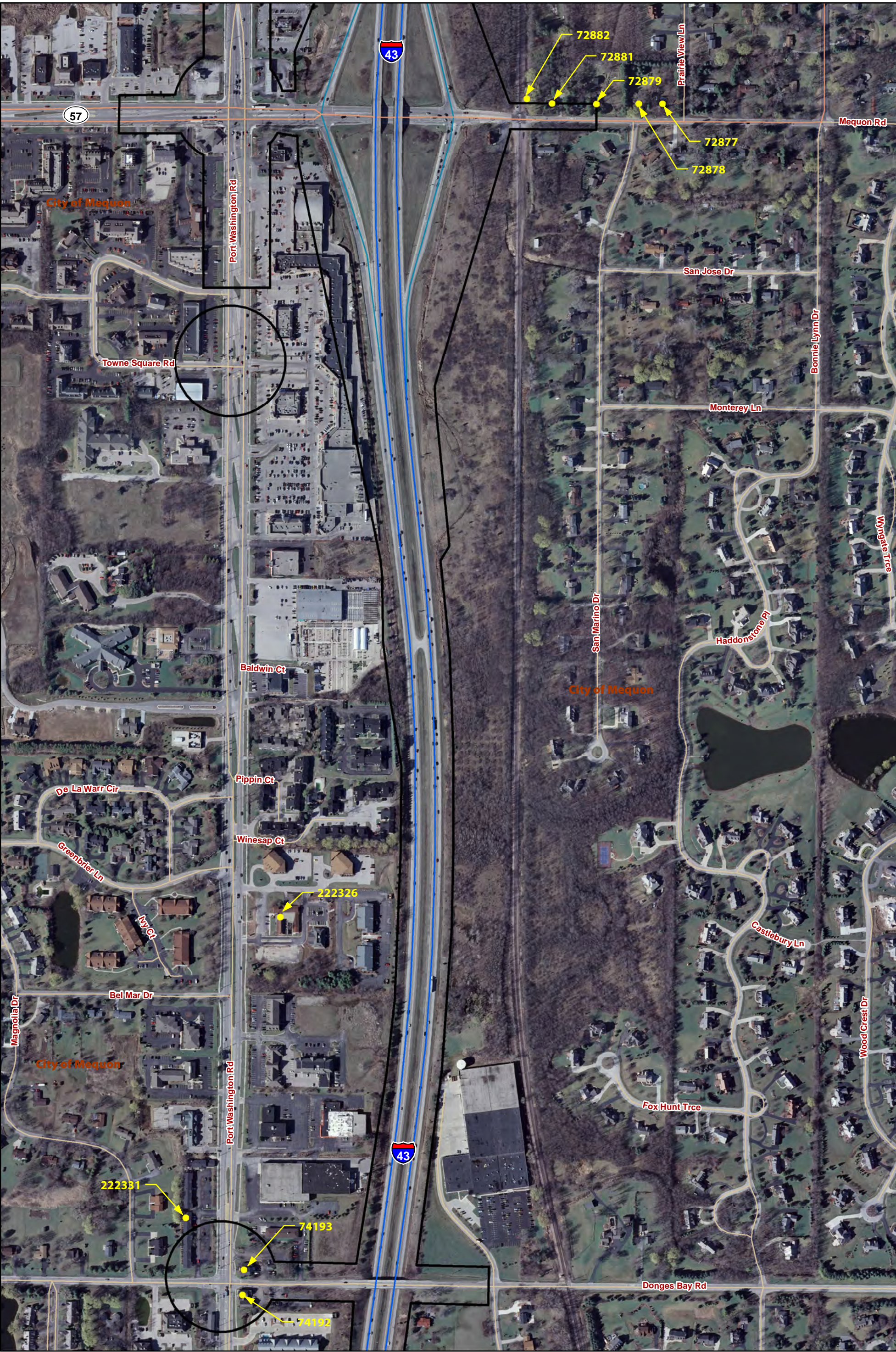
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Section 106 Survey

I-43 Milwaukee and Ozaukee counties

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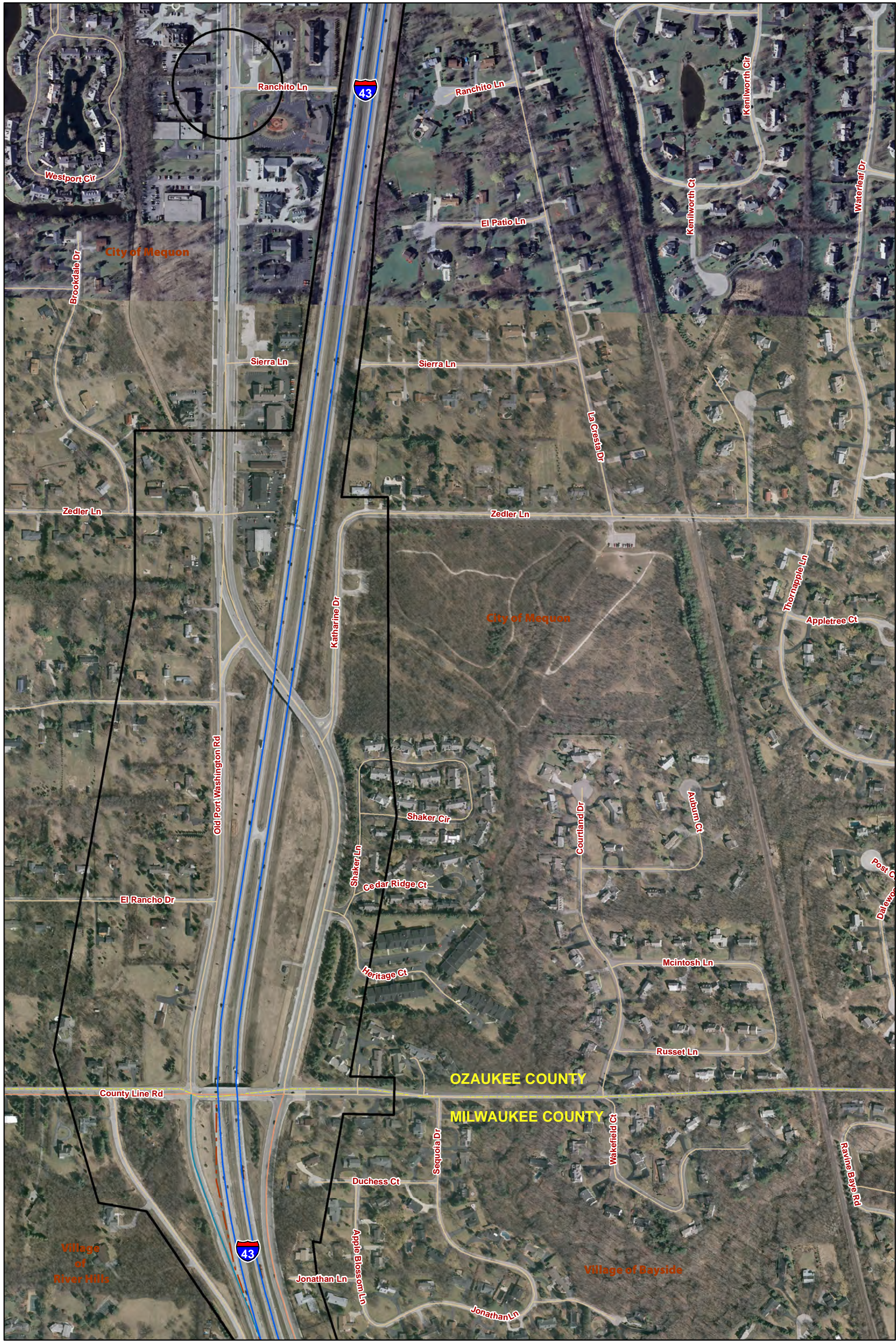
Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

- Surveyed Property
- ▭ Area of Potential Effect
- ▭ County Boundary
- - - Municipal Boundary
- ▭ Milwaukee River Parkway

0 200 400 800 1,200 Feet



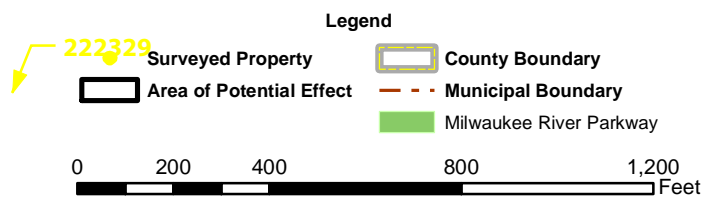


Section 106 Survey

I-43 Milwaukee and
Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin
Regional Orthophotography Consortium





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Surveyed Property

Area of Potential Effect

County Boundary

Municipal Boundary

Milwaukee River Parkway

0

200

400

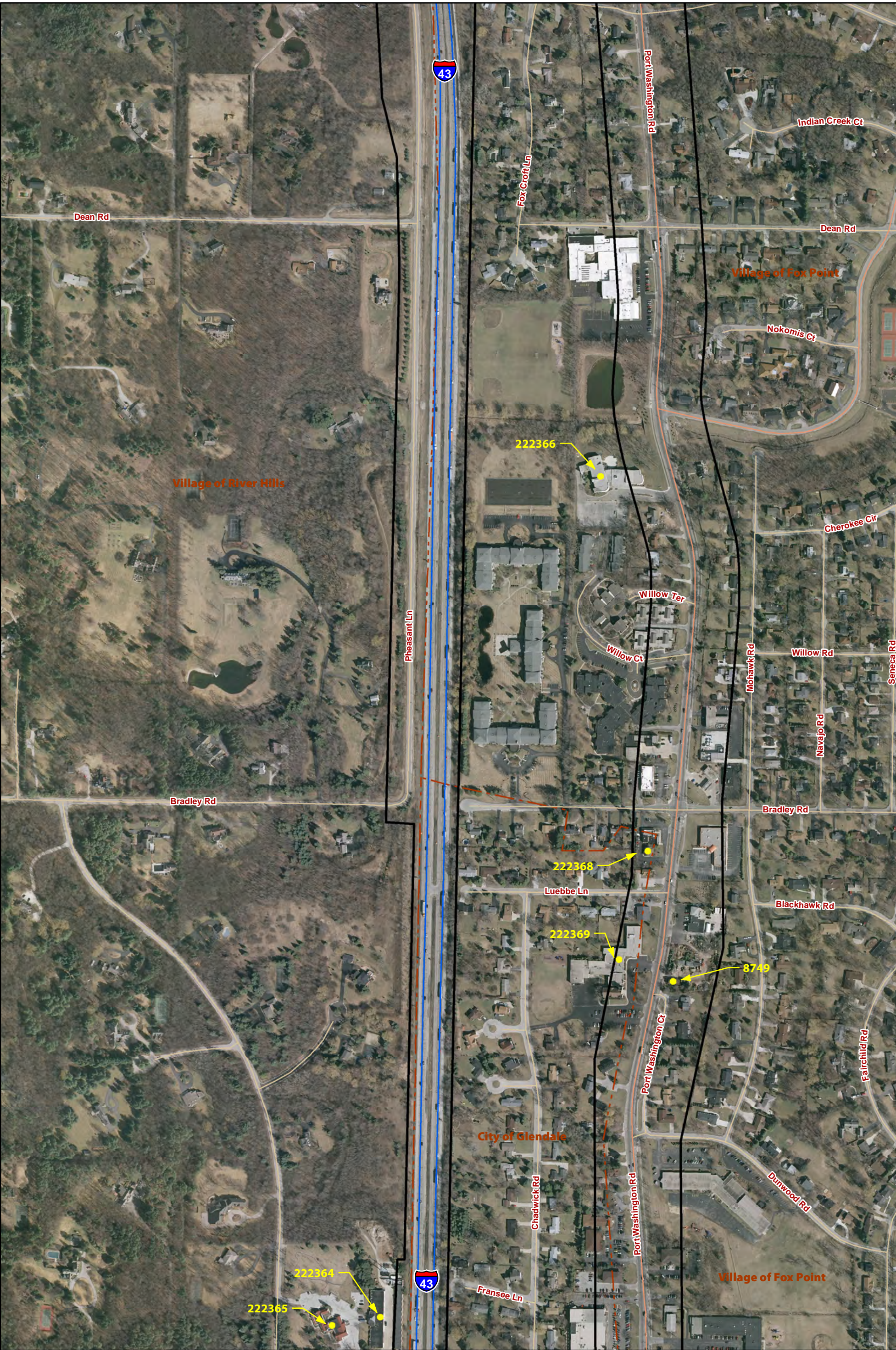
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Feet

Page 10 of 15

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Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

- Surveyed Property
- ▭ Area of Potential Effect
- ▭ County Boundary
- - - Municipal Boundary
- ▭ Milwaukee River Parkway

0

200

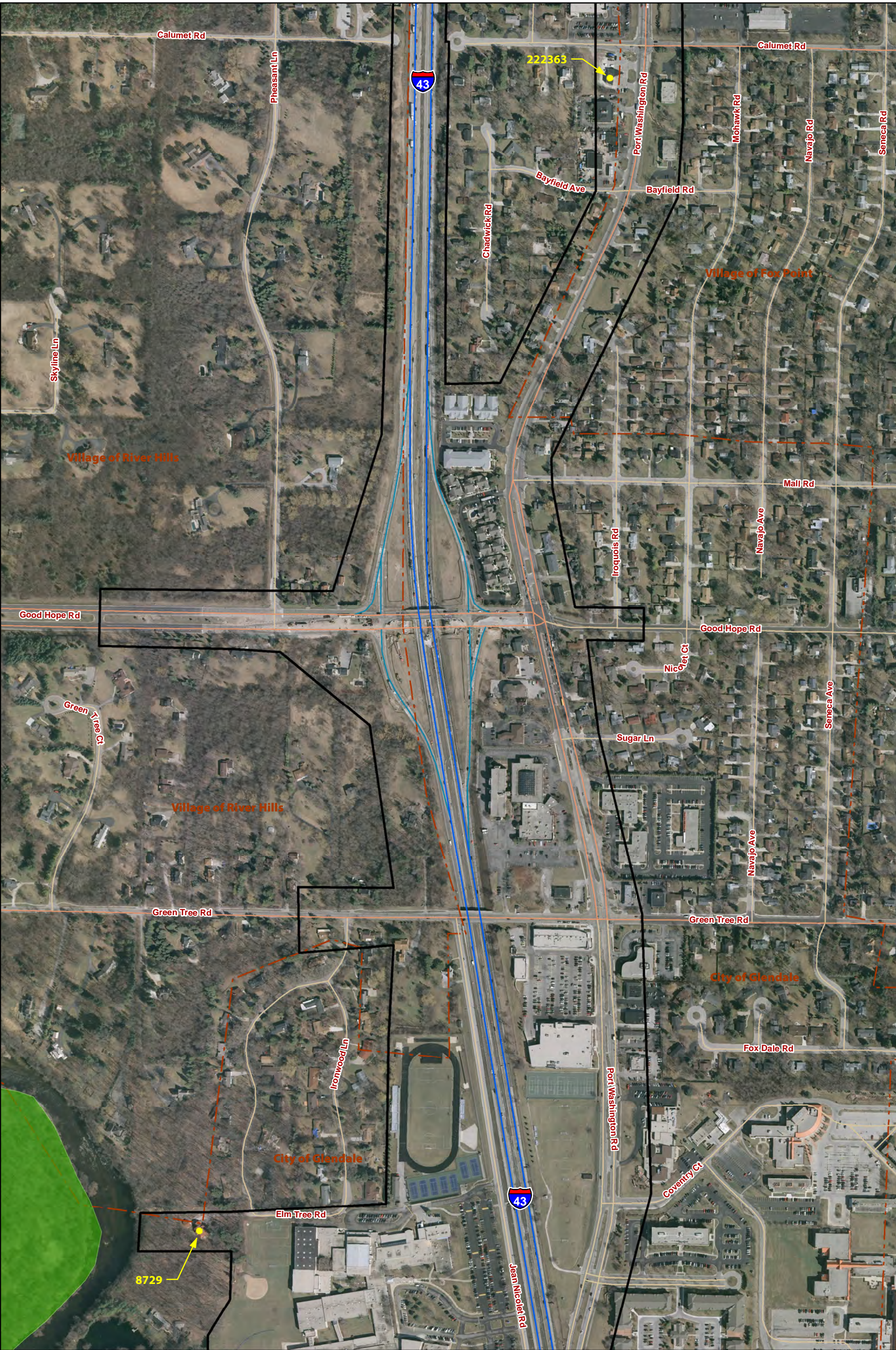
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Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

- Surveyed Property
- ▭ Area of Potential Effect
- ▭ County Boundary
- - - Municipal Boundary
- ▭ Milwaukee River Parkway

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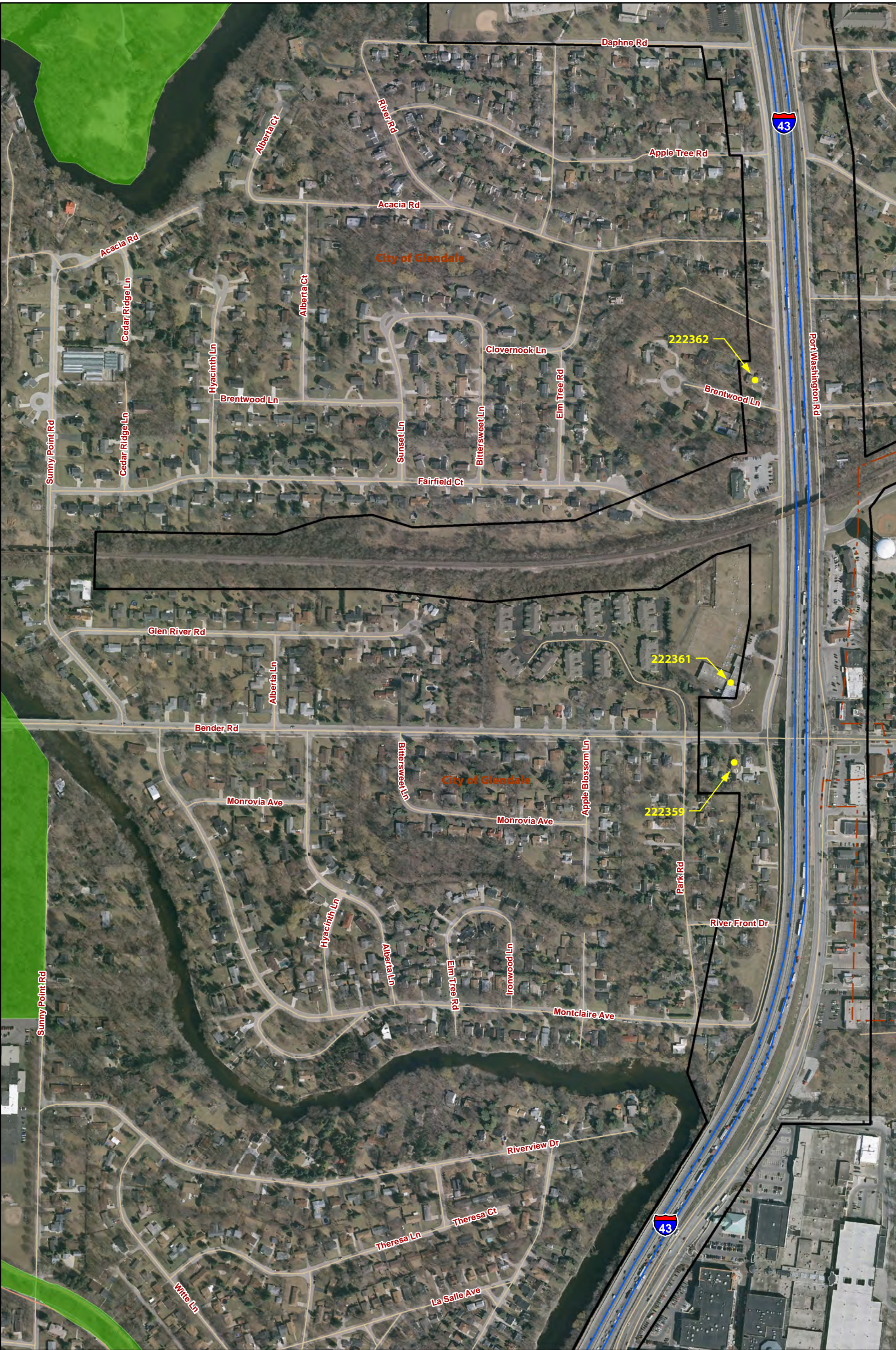
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Feet





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

- Surveyed Property
- ▭ Area of Potential Effect
- ▭ County Boundary
- - - Municipal Boundary
- ▭ Milwaukee River Parkway

0 200 400 800 1,200 Feet





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium

Legend

- Surveyed Property
- Area of Potential Effect
- County Boundary
- Municipal Boundary
- Milwaukee River Parkway

0 200 400 800 1,200 Feet





Section 106 Survey

I-43 Milwaukee and Ozaukee counties

WisDOT ID 1229-04-00

Image Source: 2010 Orthophotos, Wisconsin Regional Orthophotography Consortium





G-2 DETERMINATIONS OF ELIGIBILITY

Chalet Motel G-60

**Clovernook Estates
Residential Historic District G-83**

**Notre Dame of the Lake
(Concordia University)..... G-127**

Congregation Sinai Synagogue G-167

District 6/Lakefield Schoolhouse G-183

Henry and Mary Hennings House G-203

**Johann Friederich
and Catherine Hennings Farmstead G-229**

Louis and Sophia Hovener House G-260

North Shore Water Treatment Plant..... G-291

**Phillips Petroleum Company
Service Station G-314**

**River Hills Department
of Public Works Building G-335**

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Chalet Motel

Address/Location: 10401 N. Port Washington Road

City & County: City of Mequon, Ozaukee County **Zip Code:** 53092

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1958, 2000-01

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	4	0
<input type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify:	<input type="checkbox"/> structure	-->		
	<input type="checkbox"/> object	-->		1
	<input type="checkbox"/> district	Total:	4	1

Function/Use:

Historic Function(s): DOMESTIC: motel; COMMERCE/TRADE: restaurant

Current Function(s): DOMESTIC: motel; COMMERCE/TRADE: restaurant

Architectural Style(s): LATE 19TH & EARLY 20TH CENTURY AMERICAN MOVEMENTS:
Chalet Style

Criteria:

<input type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1958</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1958, 2000-01</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	<u></u>
	Cultural Affiliation:	<u>N/A</u>
	Architect/Builder:	<u>Allan G. Wallsworth, architect</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:	Approximately 1.99 acres		
UTM Reference:	16	424870	4784070
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is a rectangle that measures approximately 165 feet by 525 feet. The long-center axis is parallel to Interstate Highway 43 (I-43).

Boundary Justification:

The historic boundary reflects the property's current lot lines, the parcel of which is otherwise known as: 574/708 & 710 PART SE SE 2.00 ACS COMM 50 FT N & 65 FT W OF SE COR BEING #1100 CSM LOT 1 VOL 5/237 *EXC N 98 FT * SEC 30 T 9 R 22

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject property was identified as potentially eligible as an intact mid-twentieth-century motel. Research for this Determination of Eligibility included contacting the Mequon-Thiensville Historical Society, Ozaukee County Historical Society, and City of Mequon Building Inspection Department. As well, *The Cedarburg News* was reviewed covering the period when the motel was constructed. A site visit was conducted and the current property owners provided information and materials on the motel including the original specifications prepared by Milwaukee architect, Allan George Wallsworth. An example of the Swiss Chalet style, the Chalet Motel was compared with other similarly styled buildings that have been previously identified as possessing architectural significance. As a result of this research, the Chalet Motel is considered eligible under Criterion C as an intact example of a mid-century motel property, as well as a very good example of the Swiss Chalet style.

Narrative Description:

The Chalet Motel is located on the northwest corner of N. Port Washington and W. Donges Bay roads in the City of Mequon, Ozaukee County. It is sited approximately 650 feet west of Interstate Highway 43 (I-43). A circa-1970s residential subdivision borders the subject property on the west, while modern commercial buildings are found to the north and south. To the east, a circa-1900, two-and-one-half-story tavern is located across N. Port Washington Road at the corner with W. Donges Bay Road, while modern commercial buildings are found north of this establishment. The three motel buildings and restaurant building sit on an asphalt paved lot. A landscaped, grassy median buffers the property from both N. Port Washington and W. Donges Bay roads. The motel buildings and restaurant are contributing resources, while a modern sign is a non-contributing element.

Motel Building #1 (Contributing, 1958, 2000-01)¹:

The configuration of buildings on the property is in the shape of an “L” with the three motel buildings forming the long edge and the restaurant the short edge (photo #1 of 12). Motel building #1 is the southernmost building on the property. It is a two-story, concrete-block, Swiss Chalet-style structure featuring a low-pitched, side-gabled roof that shelters the upper floor (photo #2 of 12). Sheathing is primarily stucco exhibiting a semi-rough finish, although board and batten siding is found on the blank end walls of the primary (east) façade, as well as in the gables. The rear (west) elevation is simply painted concrete block. Elements of the Swiss Chalet style on the building include decoratively carved knee braces and rafter tails, curved bargeboards, and second-floor balconies featuring flat balusters with decorative cut-outs. Decorative brackets in the peak of the gables and a large, painted decorative shield found on the primary façade end wall are also typical of the Swiss Chalet style (photos #7 & 8 of 12). Exterior stairs located inside these end walls access the upper-floor balcony and feature heart-shaped cut-outs (photo #10 of 12). Fenestration predominantly consists of paired, four-over-four, double-hung, wooden sash windows that are original. Triple examples of these windows are found on side elevations, while the rear elevation features two-over-two, wooden sash fenestration. Windows rest upon painted sills and feature original decorative shutters. Additionally, the building also retains its original exterior light fixtures, doors and door knockers. These light fixtures include sconce-like examples by the motel room doors and a large lantern fixture attached to the northeast corner of the building (photo #9 of 12).

On the interior, motel rooms contain contemporary furnishings. Plaster walls feature a textured, sand float finish and bathrooms retain their original tile (photo #12 of 12).

Alterations include the 2000-01 addition on the northern end of the building. Constructed upon a former parking area, the addition added six motel rooms to the existing fourteen-unit-building and was designed to match the original architectural materials and Swiss Chalet features. However, the addition is also discernible, with different exterior light fixtures by the motel room doors, door hardware and modern fenestration (photo #11 of 12).² Additional alterations to the building consist of replacing door hardware and the removal of rings formerly found on the original door knockers (see postcard images of the Chalet

¹ Allan Wallsworth, architect, *Specifications for Chalet Motel*, Copy held by Bob Briese, current owner of the Chalet Motel, 22 May 1958.

² In photo #11 of 12, the addition projects to the right of the leftmost post in the photograph. Note the different light fixtures, door hardware and fenestration.

Motel included in this report).

Motel Building #2 (Contributing, 1958):

Featuring twelve units, motel building #2 is the middle of the motel buildings (photo #3 of 12). It exhibits the same form and Swiss Chalet stylistic elements as the other buildings, although its primary façade decorative shield features a different motif. As well, unlike the other two motel buildings, it retains its original massing lacking an addition.

Motel Building #3 (Contributing, 1958, 2000-01):

Motel building #3 is the northernmost motel building on the property (photo #4 of 12). Possessing the same form and Swiss Chalet stylistic elements as the other buildings, it also features its own distinct decorative shield on the primary façade. Like motel building #1, an addition was constructed on the southern end of the subject building in 2000-01. Consisting of eight motel rooms, this addition was similarly built upon a former parking area and designed to match the building, which originally featured fourteen units. One of this building's first-floor motel rooms has been converted to serve as the motel office/registration desk.

Restaurant (Contributing, 1958):

The restaurant consists of a two-story, side-gabled center block with one-story, side-gabled wings (photos #5 & 6 of 12). On the primary (south) façade, a front-gabled wing projects from the upper floor and rests upon a shed-roofed, entrance wing. The restaurant features many of the same Swiss Chalet stylistic elements as the motel buildings including decoratively carved knee braces and rafter tails, curved bargeboards, and decorative brackets in the peak of the gables. Stucco exhibiting a semi-rough finish covers the first floor, while board and batten siding sheaths the upper floor. The restaurant features a variety of fenestration including modern bay windows to the left of the entrance. Two-over-two, double-hung and large, fixed sash wooden windows to the right of the entrance and on the side elevation are original, as are the four-over-four, double-hung, wooden sash windows on the upper floor.

The restaurant has been remodeled on the interior. An apartment is located on its upper floor.

Alterations to the restaurant include enclosing the wing that sheltered the entrance. As well, the two bay windows to the left of the entrance are modern.

Sign (Non-Contributing, modern):

A modern sign is found by the Port Washington Road entrance to the motel property (photo #1 of 12).

Alterations to the property include the aforementioned additions made to motel buildings #1 and #3 in 2000-01 (the middle building is unchanged). As well, the original lighted sign by the Port Washington Road entrance has been removed. Finally, lantern light fixtures identical to those mounted on the motel buildings were formerly attached to wooden posts flanking both the Port Washington Road and Donges Bay Road entrances; however, these posts ultimately rotted. These light fixtures and the original lighted motel sign are currently retained on the property in storage.

CRM Context Chapters: Architecture

Statement of Significance:

The Chalet Motel was evaluated for the National Register under Criteria A, B and C. No evidence was found to suggest eligibility under Criterion A or B. Regarding Criterion C, the property is an intact example of a mid-twentieth-century motel featuring three motel buildings and a restaurant. Built in 1958, Milwaukee architect Allan George Wallsworth designed the buildings in the Swiss Chalet architectural style. Elements of the style include the building's low-pitched gable roofs, decoratively carved knee braces and rafter tails, curved bargeboards, and second floor balconies featuring flat balusters with decorative cut-outs. The decorative brackets in the peak of the gables and large decorative shields found on each building are also typical of Swiss Chalet style, as is the use of different types of cladding materials. Indeed, comparing the subject property to other Swiss Chalet-style properties in Wisconsin that are either National Register-listed or have been identified as potentially eligible, the Chalet Motel is revealed to be an excellent example of the style. Furthermore, as a motel, it is a unique embodiment of the style, which was typically applied to residences. Finally, additions designed to match the original architectural materials and Swiss Chalet features were constructed onto two of the motel buildings in 2000-01. These additions are not obtrusive; consisting of six units added to the southernmost building and eight units to the northernmost building, both of which originally were built containing fourteen units. As well, although designed to match the original construction, the additions are discernible featuring different exterior light fixtures by the motel room doors, door hardware and modern fenestration. Based on the previous information, the Chalet Motel is considered eligible under Criterion C as an intact example of a mid-twentieth-century motel property and as a very good example of the Swiss Chalet style of architecture.

Historical Background:

When the Chalet Motel was built, Port Washington Road carried U.S. Highway (USH) 141, which served as a significant north-south corridor in Wisconsin. Established in 1926 with the rest of the U.S. Highway system, USH 141 was created as an alternate route to USH 41 between Milwaukee and Green Bay. The conversion of USH 141 from a two-lane highway to a freeway began in the early 1960s. In 1967, the highway was shifted to its newly constructed alignment (present I-43) and its former route along Port Washington Road reverted back to county control. In 1975, USH 141 was re-designated Interstate Highway 43 (I-43) between Milwaukee and Sheboygan.³

In 1962, four years following the construction of the Chalet Motel, USH 141 and the area surrounding the Chalet Motel was described thusly:

Highway 141, as it heads north from Milwaukee County, narrows from four lanes to a treacherous three-lane artery and plunges into a short strip which looks like the "Midway of Mequon." This is the intersection and immediate area of Donges Bay Road. The motorist, who has been traveling a comparatively uncluttered road, suddenly finds himself confronted with a bewildering cluster of

³ Christopher J. Bessert, *Wisconsin Highways website*: www.wisconsinhighways.org, accessed 5 April 2013.

signs and businesses, all within about 200 yards of the intersection.⁴

In addition to the Chalet Motel, these businesses included two taverns located on the east side of USH 141 found on either side of Donges Bay Road. As well, the Chalet on the Lake restaurant was located one mile to the east of the USH 141 and Donges Bay Road intersection. A search of the Wisconsin Historic Preservation Database (WHPD) did not identify any other previously surveyed motel properties along Port Washington Road or in Ozaukee County.

Resource-Specific History:

The Chalet Motel was built in 1958 at an estimated cost of \$700,000 by Mequon attorney Samuel B. Perlson. At that time, Perlson also owned the Chalet on the Lake restaurant (nonextant). He hired Milwaukee architect Allan George Wallsworth to design the motel in the same Swiss Chalet style utilized at the restaurant. The property has always featured the existing layout: three motel buildings and a restaurant. The restaurant also contained a second-floor apartment. Originally consisting of forty units, the motel buildings each feature a different color of bathroom tile: pink, yellow and blue. When the motel opened, rooms contained telephone service and radio and television sets. As well, motel basements were rated civil defense areas and signs to that effect remain. Perlson initially intended to add an additional sixty units at a later date, which never came to fruition. A newspaper article regarding the motel's construction noted that each of the units "can be converted into dormitory type quarters." The present owners have owned the property since 1988.⁵

Changes to the motel include additions made to the southernmost and northernmost motel buildings in 2000-01 (the middle building is unchanged). These additions were built upon former parking areas and designed to match the original buildings. They have added six rooms to the building on the south and eight rooms to the building on the north (each of these buildings originally contained fourteen units). One of the motel rooms in the north building has been remodeled to serve as the motel office. In terms of the restaurant, the projecting bay sheltering the entrance has been enclosed and the interior remodeled. The original lighted sign by the Port Washington Road entrance to the property has been removed. Finally, light fixtures identical to those mounted on the motel buildings were attached to wooden posts flanking both the Port Washington Road and Donges Bay Road entrances; however, these posts ultimately rotted. The light fixtures and the lighted sign are currently stored on the property.⁶

Architecture:

The Chalet Motel was designed by architect Allan George Wallsworth. Born on 1 May 1903 in Marinette, Wisconsin, Wallsworth received his education at Lawrence College (Appleton, WI) and the Chicago Art

⁴ "Where To Beware!!," *The News-Graphic* (Cedarburg, WI), 7 March 1962, Page 2.

⁵ Bob Bries, Current owner of the Chalet Motel, Conversation with Michael T. McQuillen, 3 April 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI; "Building New Luxury Motel," *The Cedarburg (WI) News*, 15 October 1958. Born in Lithuania, Samuel B. Perlson immigrated to the United States in 1908. A year later he arrived in Milwaukee and, in 1926, he graduated from Marquette University Law School. He and his wife owned and operated the Chalet on the Lake restaurant for twenty-two years [Samuel B. Perlson Obituary, *Wisconsin Jewish Chronicle*, 16 September 1966, Page 7].

⁶ Bries, Conversation with McQuillen, 3 April 2013; Allan Wallsworth, architect, *Specifications for Chalet Motel*, 22 May 1958.

Institute. Early in his career he worked in Milwaukee; first as a draftsman for architect Leigh Hunt and then in the same position for the architectural firm Eschweiler & Eschweiler. He then relocated to Chicago and was associated with the firm Thielbar & Fugard from 1924-26 as a designer before working for architect Jarvis Hunt as chief designer. Following a period where he was employed as chief designer and general manager of St. Louis-based J.H. Weiss, Inc., he returned to Milwaukee as a draftsman for the Milwaukee School Board (1931-32). From 1933-37, he had a private practice and, later, established the firm Wallsworth & Trickler in Marinette, Wisconsin. Returning to the southern part of the state, he was the resident architect for the Waukesha County Courthouse from 1937-38. In 1939, he had a brief association with the Milwaukee architectural firm, Clas & Clas, Inc. before resuming his private practice. Aside from the period 1942-46 when we served as plant engineer for the Harnischfeger Corporation, he operated his own firm until ultimately serving as architect for the City of Milwaukee from at least 1959 to 1970 when he retired. Allan George Wallsworth was accepted into membership in the American Institute of Architects (AIA) in 1948. The Wisconsin Historic Preservation Database (WHPD) identifies three residences designed by Wallsworth: an International style house in Waukesha and two Mediterranean Revival style houses in Whitefish Bay (AHI records #94247, #188301 and #200041, respectively).⁷

In terms of significance as a property type, a chronological motel typology produced in 1996 by John Jakle, Keith Sculle, and Jefferson Rogers categorized motels into seven structural forms: auto camps, tourist homes, cabin camps, cottage courts, motor courts, motor inns, and highway hotels. The Chalet Motel shares characteristics with both motor courts and motor inns possessing the room size and architectural stylistic features of the former and two-story scale and amenities of the latter (although, it lacks the swimming pool typically associated with them both). The motel does reflect general trends in the industry at that time. Notably, changes to the U.S. tax code in 1954 allowing accelerated depreciation as a tax option stimulated new motel construction, as well as cyclical disinvestment, resale, and remodeling. While these changes may have served as a catalyst for the development of the subject property, the Chalet Motel nonetheless avoided the associated trend of motel buildings having short-lived integrity. Regarding architectural design, publications oriented to motel owners listed it as a critical, yet secondary, concern (location being the most important consideration). Entrepreneurs sought to achieve the greatest consumer attraction at the lowest possible construction cost. Modern and revival styles were advocated to convey the proper ambiance with a modern style generally preferred as it was regarded to be less expensive.⁸

The Chalet Motel is an example of Period Revival architecture; specifically, the Swiss Chalet style. Popular in Wisconsin during the early to mid-twentieth century, Period Revival buildings referenced a wide range of past motifs and styles. Elements of the Swiss Chalet style found on the motel buildings include their low-pitched gable roofs, decoratively carved knee braces and rafter tails, curved bargeboards, and second-floor balconies featuring flat balusters with decorative cut-outs. The decorative brackets in the peak of the gables and large decorative shields found on each building are also typical of the Swiss Chalet style, as is the use of different types of cladding materials. Indeed, the stucco exterior

⁷ *American Architects Directory*, 2nd ed. (New York: R. R. Bowker Co., 1962), 736; John F. Gane, ed., *American Architects Directory*, 3rd ed. (New York: R. R. Bowker Co., 1970), 960; Allan George Wallsworth, *American Institute of Architects (AIA) Membership Application and File*, <http://communities.aia.org/sites/hdoaa/wiki/AIA%20scans/T-Z/WallsworthAllanGeorge.PDF>, Accessed 7 May 2013.

⁸ John A. Jakle, Keith A. Sculle and Jefferson S. Rodgers, *The Motel in America* (Baltimore, MD: The Johns Hopkins University Press, 1996), 43-51, 55, 56, 75, 76.

walls feature a semi-rough finish referred to as a “Swiss finish” in the building specifications. While such Swiss-settled towns as New Glarus have a concentration of Swiss Chalet buildings, with the Chalet of the Golden Fleece (AHI #50756, 618 2nd Street, built 1937) being a notable example, the style is a relatively uncommon form of Period Revival architecture in Wisconsin. Additional good individual examples in the state include the Hediger House in the City of Neillsville, Clark County (AHI #6291, 8 Grand Avenue, built 1949), the Oberweiser Residence/Cascade Manor in the Village of Plover, Portage County (AHI #139158, 3010 Springville Drive, built 1924) and, locally, Alpine Village in the City of Mequon, Ozaukee County (AHI #13814, 10401 N. Cedarburg Road, built circa 1950).⁹

Of the aforementioned properties, both the Chalet of the Golden Fleece and Oberweiser Residence have been identified as potentially eligible for the National Register, while the Hediger House has been recently National Register-listed. Alpine Village does not feature any historic designation. The Chalet Motel compares favorably with these buildings (see comparison photographs of the Chalet of the Golden Fleece, Hediger House and Alpine Village included in this report – a photo of the Oberweiser Residence could not be obtained). The motel buildings possess similar stylistic elements as the Chalet of the Golden Fleece, Hediger House and Alpine Village; namely, low-pitched gable roofs, decorative structural elements under the eaves, and second-floor balconies featuring flat balusters with decorative cut-outs. Indeed, both the Chalet Motel and Chalet of the Golden Fleece utilize the shape of a heart in their cut-outs. The motel buildings additionally contain elements lacking on these three examples in terms of their decorative shields and large, original lighting fixtures (survey photographs reveal that Alpine Village once featured a decorative shield, as well as an exterior mural). Furthermore, the Chalet Motel is unique in that it embodies the style as a motel. Excepting Alpine Village, the other previously mentioned properties are all residences, which is the type of building to which the Swiss Chalet style was typically applied. As a Swiss Chalet-style, mid-twentieth-century motel property, the Chalet Motel is truly a distinctive example of the style within Wisconsin.¹⁰

Summary:

The Chalet Motel is considered eligible under Criterion C as an intact example of a mid-twentieth-century motel property and as a very good example of the Swiss Chalet style of architecture.

⁹ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 2, Architecture, 2-28; “Swiss Chalet Revival,” Washington State Department of Archaeology & Historic Preservation (DAHP), www.dahp.wa.gov/styles/swiss-chalet, accessed 8 April 2013. Interestingly, the Northeast-based motel chain, Susse Chalet, which was established in 1967, utilized a Swiss architectural theme in its design [Jakle, *The Motel in America*, 215].

¹⁰ “Hediger, Herman M. and Hanna, House,” National Register nomination, Prepared by Patricia Lacey (26 September 2012).

Bibliography: An asterisk (*) denotes sources consulted but not cited.

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Determination of Eligibility Prepared By:

Name & Company:	Michael T. McQuillen, Heritage Research, Ltd.		
Address:	N89 W16785 Appleton Avenue	Phone:	(262) 251-7792
City:	Menomonee Falls	State:	WI
Email:	mmcquill@hrltd.org	Zip:	53051
		Date:	April 2013

Sub-contracting to:	Caron Kloser, HNTB, Inc.		
Address:	11414 W. Park Place	Phone:	(414) 359-2300
City:	Milwaukee	State:	WI
Email:	CKloser@HNTB.com	Zip:	53224
		Date:	April 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in April 2013

(Note: a perspective photograph showing the relationship of the Chalet Motel to I-43 could not be taken due to the proximity of the facility to the interstate)

CHALET MOTEL (Three motel buildings with restaurant building at far end of the property)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to north

Photo #1 of 12

CHALET MOTEL (Motel Building #1)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #2 of 12

CHALET MOTEL (Motel Building #2)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #3 of 12

CHALET MOTEL (Motel Building #3)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #4 of 12

CHALET MOTEL (Restaurant)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #5 of 12

CHALET MOTEL (Restaurant)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to southwest

Photo #6 of 12

CHALET MOTEL (Detail – Motel Building #2)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #7 of 12

CHALET MOTEL (Detail – Motel Building #1)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northwest

Photo #8 of 12

CHALET MOTEL (Detail – light fixture Motel Building #1)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to west

Photo #9 of 12

CHALET MOTEL (Detail – exterior motel building stairs)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to northeast

Photo #10 of 12

CHALET MOTEL (Detail – Motel Building #1, 1958 building is to the left of the leftmost post in the photograph; 2000-01 addition is to the right of this post)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to west

Photo #11 of 12

CHALET MOTEL (Interior – bathroom)

10401 N. Port Washington Road

City of Mequon, Ozaukee County, WI

View to north

Photo #12 of 12

Photo #1 of 12



Photo #2 of 12



Photo #3 of 12



Photo #4 of 12



Photo #5 of 12



Photo #6 of 12



Photo #7 of 12



Photo #8 of 12



Photo #9 of 12



Photo #10 of 12



Photo #11 of 12



Photo #12 of 12



Postcard (August, 1996 postmark)



Distributed by Modern Graphics, Milwaukee, Wis. 53210 – Photo by Ken Wolf

Postcard



"Willys Harlequin Jeep Wagon 1959" Brooks Stevens Archive – Milwaukee Art Museum (Chalet Motel in background)

Comparison Swiss Chalet-style Buildings in Wisconsin:



Chalet of the Golden Fleece, Village of New Glarus, Green County, AHI #50756, 618 2nd Street, Photo taken 2011

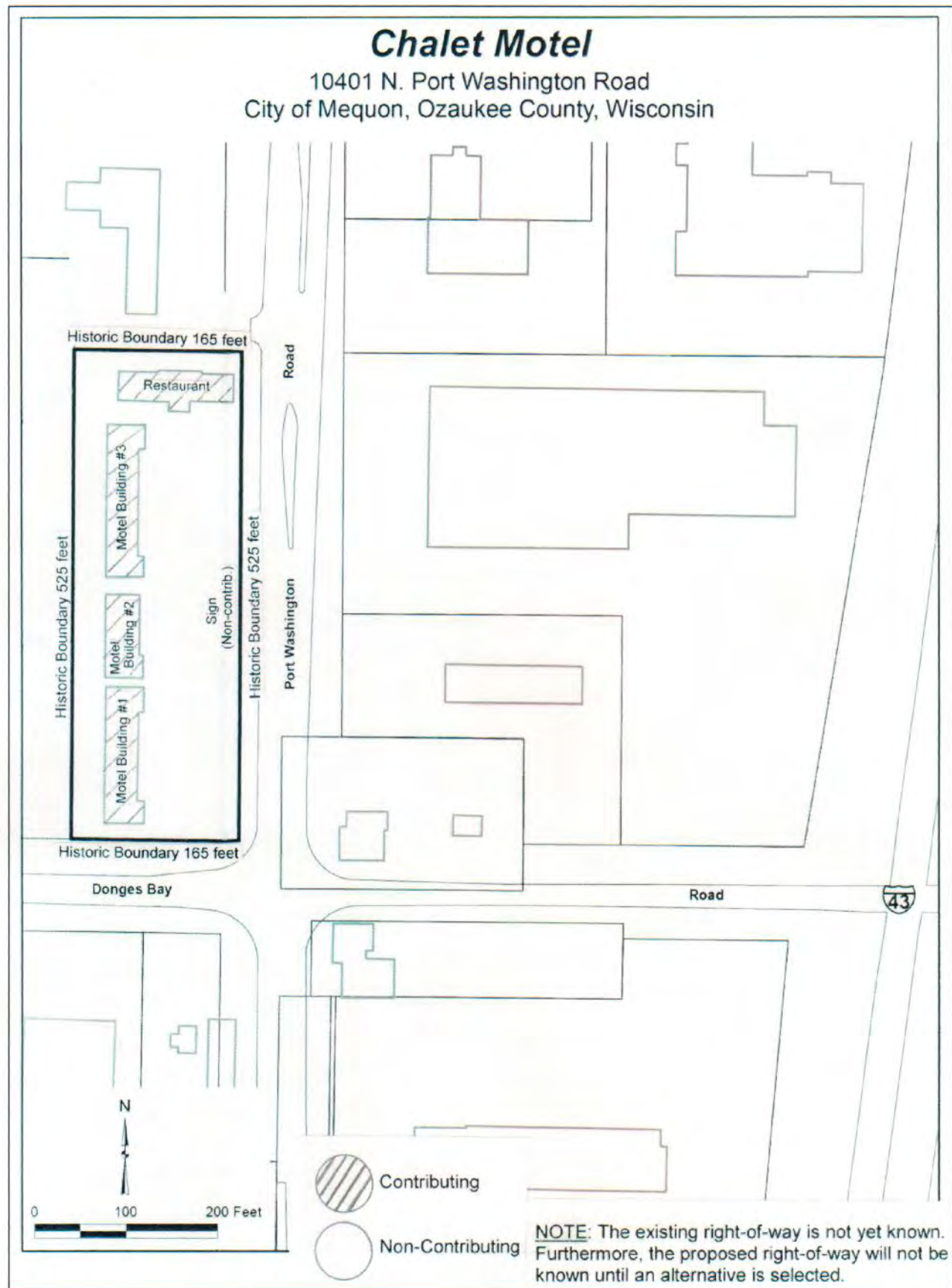


Hediger House, City of Neillsville, Clark County, AHI #6291, 8 Grand Avenue, Photo taken 2012

Comparison Swiss Chalet-style Buildings in Wisconsin:



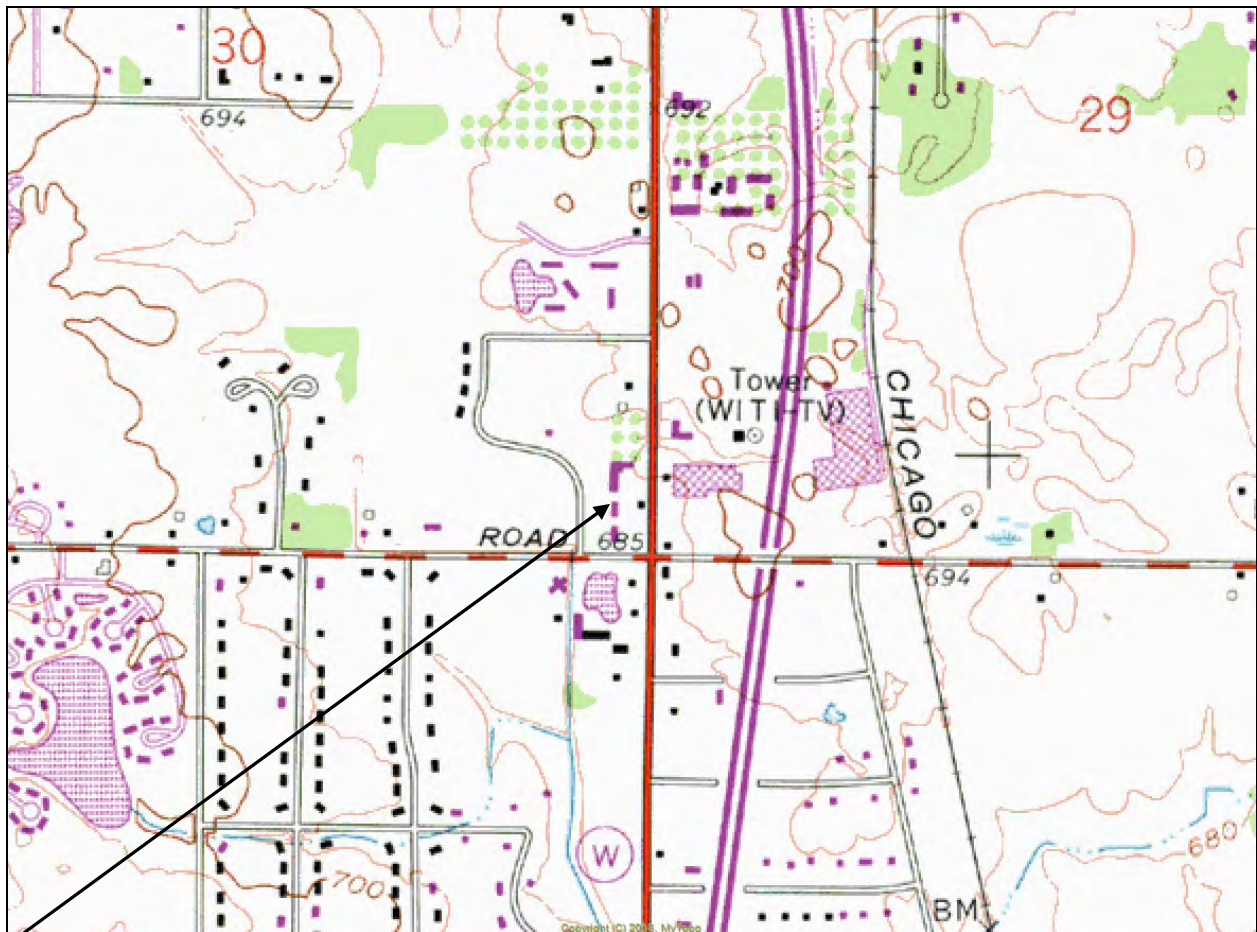
Alpine Village, City of Mequon, Ozaukee County, AHI #13814, 10401 N. Cedarburg Road, Photo taken 2012



USGS Thiensville

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



Chalet Motel

10401 N. Port Washington Road, City of Mequon, Ozaukee County, WI

Zone 16 424870 Easting 4784070 Northing

Wisconsin Department of Transportation
Determination of Eligibility Form for Historic Districts

(May 2013)

Agency #: 1229-04-01

WHS #: _____

District Name: Clovernook Estates Residential Historic District

Location: 400-909 W. Acacia Road; 405, 614, 630, 700, 910 & 918 W. Apple Tree Road; 406 W. Clovernook Lane; 837 & 919 W. Daphne Road; 6530, 6585 & 6615-6660 N. Elm Tree Road; 6544-6588 & 6660 N. River Road

City & County: City of Glendale, Milwaukee County **Zip Code:** 53217

Town: _____ **Range:** _____ **Section:** _____

Dates of Construction: 1903, 1937-43, 1945

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

☒ Meets the National Register of Historic Places criteria.

☐ Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

☐ Meets the National Register of Historic Places criteria.

☐ Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	building(s)	-->	54	7
<input type="checkbox"/> public	site	-->		
If public, specify:	structure	-->	1	
	object	-->	1	
	<input checked="" type="checkbox"/> district	Total:	56	7

Function/Use:

Historic Function(s): DOMESTIC: single dwelling

Current Function(s): DOMESTIC: single dwelling

Architectural Style(s): LATE 19TH & 20TH CENTURY REVIVALS: Colonial Revival; Chalet Style

Criteria:

<input checked="" type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture; Community Planning and Development</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1903, 1937 (Criterion A)¹</u> <u>1937-43, 1945 (Criterion C)</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1903, 1937-43, 1945</u>
<input type="checkbox"/> D (archaeology)	Significant Person(s):	<u></u>
	Cultural Affiliation:	<u></u>
	Architect/Builder(s):	<u>William F. Thalman (builder);</u> <u>Edmund Schrang (architect);</u> <u>Robert Spencer (architect);</u> <u>Kirchhoff & Rose (architect)</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

¹ The 1903 date represents the year J. Gilbert & Claire Hickcox built their home at 525 W. Acacia Road on the Clovernook Dairy Farm; the farm property they subdivided to create the subject Clovernook Estates Subdivision. The year 1937 is the date of construction of the four Kelvin model homes within the district.

Property Info:

Acreage of Property:

Approximately 25.69 acres

UTM Reference:(A)	16	425695	4775949
(B)	16	425439	4776013
(C)	16	425188	4776084
(D)	16	425151	4776167
(E)	16	425125	4776251
(F)	16	425126	4776354
(G)	16	425450	4776354
(H)	16	425695	4776213
	Zone	Easting	Northing

Verbal Boundary Description:

The Point of Beginning is the SE corner of 406 W. Acacia Rd., then WNW along the S property lines of 419, 429, 505 and 517 W. Acacia, then N to the SE corner of 525 W. Acacia Rd., then WSW along the S property line of 525 W. Acacia, then N to the SE corner of 605 W. Acacia, then generally west along the south property lines of 605 W. Acacia, 6530 N. Elm Tree Road, across Elm Tree Road and 641 W. Acacia Road, then SSW to the SE corner of 649 W. Acacia, then WNW and W along the south property lines of 649, 711, 731, 819, 835 and 909 W. Acacia, then N along the W property line of 909 W. Acacia Road, across W. Acacia Road to the SW corner of 6551 N. River Road, then W along the S property line of 6563 N. River Road, then NNW along the W property line of 6563, 6575 and 6585 N. River Road, then NE along the N property line of 6585, across N. River to the NW corner of 6588 N. River Road, then NNW to the NW corner of 6660 N. River Road, then E along the N side of 660 N. River Road and 919 and 837 W. Daphne Road, then S along the E side of 837 W. Daphne Road and 910 W. Apple Tree Road, then across Apple Tree Road to the NE corner of 6588 N. River Road, then SE and ESE along the (essentially) east or north property lines of 6570, 6564, 6558 and 6544 N. River Road and 810, 732 and 720 W. Acacia Road, then north along the W side of 6585 N. Elm Tree Road and across N. Elm Tree Road to 700 W. Apple Tree Road, then NW to the SW corner of 700 W. Apple Tree Road, then N along the west property line of 6615, 6625, 6635, 6645, 6651 and 6655 N. Elm Tree Road, then E along the N side of 6665 Elm Tree Road, across Elm Tree Road to the NE corner of 6660 N. Elm Tree Road, then S along the E property lines of 6660, 6650, 6640 and 6630 N. Elm Tree Road, then E along the N property line of 630 and 614 W. Apple Tree Road, then S along the E property line of 614 W. Apple Tree Road to its SE corner, then W along the S property line of 614 and 630 W. Apple Tree Road and 6616 N. Elm Tree Road, then S, across Apple Tree Road to the SW corner of 6580 N. Elm Tree Road, then E along the N property lines of 646, 634, 618, 606, 530, 514, 506, 430 and 420 W. Acacia Road, then N along the W property line of 405 W. Apple Tree Road, then E along the N property line of 405 W. Apple Tree Road, then S along the E property line of 405 W. Apple Tree Road, 400 and 407 W. Acacia Road and 406 W. Clovernook Lane to the Point of Beginning.

Boundary Justification:

Featuring houses primarily built between 1937 to 1942, the historic district boundary contains all of the original Clovernook Estates Subdivision, as well as portions of Clovernook Estates Addition No. 1 and Clovernook Estates Addition No. 2. The broader Clovernook neighborhood consists of the original

subdivision (platted 15 September 1937) and the following additions: Clovernook Estates Addition No. 1 (20 July 1938); Clovernook Estates Addition No. 2 (9 July 1941); Clovernook on the River (3 May 1960); Clovernook Estates Addition No. 3 (23 December 1964); Clovernook Estates Addition No. 5 (3 December 1971); and Clovernook Estates Addition No. 6 (26 September 1975). Platted almost two decades or more following Addition No. 2, Clovernook on the River (1960) and the subsequent additions possess many Contemporary-style, wood-sided residences that are visually distinct from the Period Revival-style, stone-veneered homes within the subject district and, as a result, were excluded from the boundary. Likewise, the Glen Mary Subdivision situated immediately to the south of the original Clovernook Estates Subdivision features its own development history. Although similar to the subject district in that its residences are stone-veneered and designed and built by Thalman-Schrang, Glen Mary lacks the architectural variety of Clovernook Estates as its nine houses are all one-story, ranch-style homes. Indeed, this postwar subdivision is also visually distinct from the Clovernook Estates Residential Historic District, which features the vast majority of its houses built from 1937 to 1942. As well, it should be noted that the houses within Glen Mary were built in 1947 and later, which is beyond the Period of Significance of the subject district. Finally, the portions of Addition No. 1 and Addition No. 2 that have been excluded from the district contain houses built years following their platting (indeed, in some cases, more than fifteen years following the original platting). The excluded areas of Clovernook Estates Additions No. 1 and 2 are contiguous sections located on W. Apple Tree Road and W. Daphne Road. In addition to its historically and architecturally significant properties, the historic district boundary includes the contributing entrance pillars flanking W. Acacia Road at the intersection with N. Jean Nicolet Road and contributing stone-lined drainage ditches situated along W. Acacia Road.

Methodology:

During the process of completing Determinations of Eligibility for WisDOT Project #1229-04-01, the subject residential historic district was brought to the attention of the Wisconsin Department of Transportation, Bureau of Technical Services, Environmental Process & Documentation Section. Photographs of the proposed district, as well as documentation regarding its potential architectural and historical significance were submitted. This documentation included information regarding the association with the Nash-Kelvinator Corporation, which provided financial backing for the subdivision's development as indicated in the book *Glendale, Wisconsin: Rich Past, Bright Future 1950-2000*. Also, *The Milwaukee Journal* article dated 20 August 1939 that discussed the early development of Clovernook Estates was referenced. The WisDOT Cultural Resources Environmental Analysis & Review Specialist consulted with the Wisconsin Historical Society's Historic Preservation Division and the decision was made to complete a Determination of Eligibility for the Clovernook Estates Residential Historic District (see attached email from Jason Kennedy to Michael McQuillen dated 17 May 2013). In terms of research, the original Clovernook Estates subdivision plat, as well as the plats of subsequent Clovernook Estates additions, were accessed at the Milwaukee County Courthouse Register of Deeds Office. Sanborn Map Company fire insurance maps were also reviewed; however, they did not cover the Clovernook Estates area.² The North Shore Library, City of Glendale Community Development Department, Milwaukee Public Library Humanities Room and Milwaukee County Historical Society Research Library were also consulted. Finally, the publication, *A Brief History of Clovernook 1902-2007* was a valuable source of information.

² While Sanborn Map Company maps featured individual property maps for nearby Nicolet High School and Bayshore Mall, they did not cover the Clovernook Estates subdivision.

Narrative Description:

The Clovernook Estates Residential Historic District consists of sixty-one properties with construction dates from 1903 to 1945, although the vast majority of the homes were built from 1937 to 1942 (the original house built on the farm property that was subdivided to create Clovernook Estates was constructed in 1903 and the district also contains single houses built in 1943 and 1945). The subdivision is bordered on the east by N. Jean Nicolet Road, which is situated in close proximity to and paralleled by Interstate Highway 43 (I-43). A subdivision featuring ranch-style houses built from 1947 to 1951, as well as 1960s and 1970s subdivision additions to Clovernook Estates surround the subject district on its south and west, while Nicolet High School is located to the north. The houses within the Clovernook Estates Residential Historic District are single-family, one- to two-story homes that retain a high degree of integrity. The district is heavily wooded, featuring numerous mature trees, and its streets are paved lacking sidewalks.

A majority of the houses within the district are distinguished by their stone veneer and were built in Period Revival styles with the Period Colonial Revival style most represented. Many of them were designed by Milwaukee architect Edmund Schrang and built by contractor William F. Thalman, although examples of other architects – including Robert Spencer and Kirchhoff & Rose – are also evident. Lot sizes range from one-fifth to one-half acre and setbacks are generally consistent. Indeed, when the subdivision was developed it featured restrictions requiring approval of the architecture of the home and its location/setback on the lot. While the homes on N. Elm Tree Road are generally smaller in scale than those on W. Acacia and N. River roads, they were designed by Schrang and built by Thalman and some of them also exhibit stone-veneering. When built, they also featured the same restrictions in terms of their design and lot location as the other houses within district.

Of the sixty-one properties within the district, seven are considered to be non-contributing. Also found within the district are contributing entrance pillars located at the intersection of W. Acacia and N. Jean Nicolet roads and contributing stone-lined drainage ditches situated along W. Acacia Road.

Entrance Pillars (Contributing, 1937):

Edmund Schrang designed the round entrance pillars flanking W. Acacia Road at the intersection with N. Jean Nicolet Road (see photos #1 & 2 of 23; as well as the historic photograph of one of the pillars on page 38). Featuring wooden-shingled, conical roofs, the pillars are sheathed with stucco containing embedded fieldstones arranged in a random pattern that evokes a Storybook-style appearance. Resting upon fieldstone foundations, they feature diminutive gabled wings and small window openings containing wooden louvers. The pillars were rehabilitated circa 1996. This work included replacing the wooden shingles and “interior rotted fascia.” As well, the wooden louvers appear to have been installed in the window openings at that time. These pillars are considered to be contributing resources within the Clovernook Estates Residential Historic District and are counted as a singular resource in the resource count.³

³ *A Brief History of Clovernook 1902-2007* (Glendale, WI: Clovernook Garden Club, 2007), 19.

Drainage Ditches (Contributing, circa 1937):

Composed of mortared limestone blocks, these drainage ditches are situated along W. Acacia Road and are considered to be contributing elements (photo #23 of 23). The drainage ditches are counted as one resource in the resource count.

Properties within the District:

(Please include each property within the district in the table.)

Address	Historic Name ⁴	Date ⁵	AHI #	Status (C/NC)
400 W. Acacia Road	C. A. Nyberg	1942	225009	C
407 W. Acacia Road	William S. & Erica Schmidt	1938	225010	C
419 W. Acacia Road	Milton Murray	1937	225011	C
420 W. Acacia Road	Michael Palmer	1941	225012	C
429 W. Acacia Road	Kenneth Rogers	1937	225013	C
430 W. Acacia Road	Karl Stoffregen	1942	225014	C
505 W. Acacia Road	Spencer Lange	1937	225015	C
506 W. Acacia Road	House	1957	225016	NC
514 W. Acacia Road	Arthur J. & Laura Slagter	1940	225017	C
517 W. Acacia Road	Walt & Lydia Hickcox Dutcher	1937	225018	C
525 W. Acacia Road	J. Gilbert & Claire Hickcox	1903	225019	C
530 W. Acacia Road	Robert & Georgie Oberndorfer	1939	225020	C
537 W. Acacia Road	Paul Kansteiner	1942	225021	C
605 W. Acacia Road	House	1954	225022	NC
606 W. Acacia Road	Henry Uihlein	1939	225023	C
618 W. Acacia Road	Elmer O. & Lora Bischoff	1938	225024	C
634 W. Acacia Road	Walter Schroeder	1942	225025	C
641 W. Acacia Road	John R. & Dorothy Ward	1937	225026	C
646 W. Acacia Road	Roland Koehler	1941	225027	C
649 W. Acacia Road	Walter Moeller	1941	225028	C
706 W. Acacia Road	Carrie Gebhardt	1941	225029	C
711 W. Acacia Road	Gene Ramstack	1940	225030	C
720 W. Acacia Road	House	1940	225031	C
731 W. Acacia Road	William F. & Crescent Thalman	1937	225032	C
732 W. Acacia Road	Paul Pratt	1940	225033	C
810 W. Acacia Road	Dorothy Klemperer	1940	225034	C
819 W. Acacia Road	Harry O. & Kathryn Manke	1939	225035	C
835 W. Acacia Road	House	1961	225036	NC
909 W. Acacia Road	Arthur G. & Marie Koch	1940	225037	C
405 W. Apple Tree Road	Charles Koeppen	1941	225038	C
614 W. Apple Tree Road	Charles Swain	1938	225039	C

⁴ In most cases, the historic name was taken from either the 1940 United States Census or the 1949 *Wright's City of Milwaukee Directory*, which was the only available directory that listed addresses from within Clovernook Estates [United States Department of Commerce, Bureau of Census, *Sixteenth Federal Census of the United States, 1940, Population* (Washington, D.C.: Government Printing Office), Copy Accessed online at www.ancestry.com on 25 June 2013; *Wright's City of Milwaukee Directory* (Milwaukee: Wright Directory Company, 1949)].

⁵ Dates of construction were obtained from two primary sources: *A Brief History of Clovernook 1902-2007* and City of Glendale Assessor's records. Indeed, the majority of dates were obtained from the Glendale Assessor's records [Assessor's records, City of Glendale, website: <http://accurateassessor.com/recordsearch.php?id=102>, Accessed May 2013]. Finally, the City of Glendale indicates that their individual property files may contain information that predates the municipality's 1950 incorporation; however, searching approximately ten addresses within the Clovernook Estates Residential Historic District failed to reveal any information – plans, permits, correspondence, etc. – that predated 1950 [Property Files, On file at Glendale City Hall, 5909 N. Milwaukee River Parkway, Glendale, WI].

630 W. Apple Tree Road	Seward Stroud	1949	225040	NC
700 W. Apple Tree Road	Joseph Roets	1939	225041	NC
910 W. Apple Tree Road	Fred Wilde	1940	225042	C
918 W. Apple Tree Road	John Trost	1942	225043	C
406 W. Clovernook Lane	Floyd & Muriel Marissitte	1938	225044	C
837 W. Daphne Road	Edwin Eckenrod	1941	225045	C
919 W. Daphne Road	Earle Bennett	1939	225046	C
6530 N. Elm Tree Road	House	1954	225047	NC
6585 N. Elm Tree Road	Louis Ball	1941	225048	C
6615 N. Elm Tree Road	Harry & Edith Klempen	1939	225049	C
6616 N. Elm Tree Road	Roger Woboril	1942	225050	C
6625 N. Elm Tree Road	Donald & Bernice Weisbaum	1938	225051	C
6630 N. Elm Tree Road	Donald & Ruth Wegner	1938	225052	C
6635 N. Elm Tree Road	Arthur & Catherine Slavin	1937	225053	C
6640 N. Elm Tree Road	Paul & Evelyn Burcham	1939	225054	C
6645 N. Elm Tree Road	Albert & Vera Gallob	1937	225055	C
6650 N. Elm Tree Road	Orville Cox	1939	225056	C
6651 N. Elm Tree Road	Joseph & Mayble Meyers	1937	225057	C
6655 N. Elm Tree Road	Charles & Isabelle Kipp	1939	225058	C
6660 N. Elm Tree Road	Harry & Marguerite Reichert	1938	225059	C
6544 N. River Road	Robert Clague	1941	225060	C
6551 N. River Road	Robert Heiss	1941	225061	C
6558 N. River Road	Gilbert Thelen	1940	225062	C
6563 N. River Road	House	1940	225063	C
6564 N. River Road	Harold & Lois Koehler	1941	225064	C
6570 N. River Road	Curtis Lankford	1941	225065	C
6575 N. River Road	Lyman McIntosh	1943	225066	C
6585 N. River Road	James Taylor, Jr.	1941	225067	C
6588 N. River Road	Mrs. Bradley Van Brunt	1945	225068	C
6660 N. River Road	Arthur Huegel	1939	225069	NC

Narrative Statement of Significance:

CRM Context Chapters: Architecture

STATEMENT OF SIGNIFICANCE:

The Clovernook Estates Residential Historic District was evaluated for the National Register of Historic Places under Criterion A, B and C. No evidence was found to substantiate eligibility under Criterion B. In terms of Criterion A, the subdivision was developed in cooperation with the Nash-Kelvinator Corporation, which had a plant in the City of Milwaukee. (With the merger of the Nash Motor Company and the Kelvinator Appliance Company), Nash-Kelvinator was formed in 1937 – the same year the Clovernook Estates Subdivision was platted. Identifying the development as a means to promote their line of electric appliances and heating/cooling systems, Nash-Kelvinator sponsored the construction of four model homes within the subject district (419, 429, 505 & 517 W. Acacia Road). These homes featured the “Kelvin package” that included electric cooking, refrigeration, water heating and air conditioning appliances and systems. The model home at 517 W. Acacia Road was opened for public inspection on 4 July 1937 for a period of three weeks and was touted to deliver comfortable, economical and dependable ‘electric living.’ Nash-Kelvinator promoted their products nationally and, at the time these model homes within Clovernook Estates were built, there were approximately 100 Kelvin homes located throughout the country. Regarding Criterion C, the subject district features a significant concentration of Period Revival-style and, especially, Period Colonial Revival-style residences – the majority of which were built between 1937 and 1942. Many of the residences within the district were designed by noted Milwaukee architect Edmund Schrang and built by contractor William F. Thalman. Composed of single-family, one- to two-story homes (many of which feature stone veneer) that retain a high degree of integrity, the Clovernook Estates Residential Historic District evokes a unique sense of time and place. Based on the aforementioned historical development of the subdivision and its association with the Nash-Kelvinator Corporation, as well as the Period Revival stylistic features and integrity of its homes, the Clovernook Estates Residential Historic District is considered to be eligible for the National Register under Criterion A: History and Criterion C: Architecture.

GENERAL HISTORY:

During the early twentieth century, general technological advances, combined with a rise in industrialism, caused urban centers to grow, while rural populations in locales such as Milwaukee County generally declined. While mechanization moved many farmers away from the rural landscape, the automobile transported many urbanites back to the countryside, which offered a retreat from crowded city centers. With rural electrification, summer cottages became year-round homes, and suburban living emerged. In Milwaukee County, suburbanization took a northward path with the establishment of the villages of Shorewood, Whitefish Bay and Fox Point. The Village of River Hills was incorporated from a portion of the Town of Milwaukee in 1930 and, similarly, so was the City of Glendale twenty years later.

The general history of the City of Glendale is found in *Glendale, Wisconsin: Rich Past, Bright Future, 1950-2000* (2000). Briefly summarized, the City of Glendale was incorporated 28 December 1950 from a

portion of the Town of Milwaukee. Residential development in Glendale occurred at a rapid pace in the 1950s, the result of a demand for housing following World War II and the national trend toward suburbanization. This growth is reflected in its population, which increased from 3,152 residents in 1950 to 10,432 in 1960. While the community continued to grow throughout the 1960s, the pace of development was not as great as experienced in the prior decade and, by the late 1960s, most available land in the city had been developed. Glendale's population stood at approximately 14,000 in 1970 and was 12,872 in 2010.⁶

PROPERTY-SPECIFIC HISTORY:

Clovernook Estates was developed by J. Gilbert & Claire Hickcox, owners of the Clovernook Dairy Farm located in the Town of Milwaukee (present-day City of Glendale). Having owned the property for thirty-five years, they decided to subdivide their farm, filing the plat for Clovernook Estates on 15 September 1937. The Hickcox family marketed the lots and the subdivision was developed in cooperation with the Nash-Kelvinator Corporation, which identified the development as a means to promote their line of electric appliances and heating/cooling systems.⁷

The Nash Motor Company merged with the Kelvinator Appliance Company in 1937; the same year that the Clovernook Estates Subdivision was platted. Charles Nash, founder of the Nash Motor Company, served as chairman of the Nash-Kelvinator Corporation board. The company's civilian (i.e., non-military) production included cars, refrigerators, freezers, beverage coolers, air conditioning systems and electric ranges. Headquartered in Detroit, Nash-Kelvinator featured car plants in Milwaukee and Kenosha, Wisconsin; car assembly plants in London, Ontario, London, England, El Segundo, California, Sao Bernardo, Brazil, and Sweden; and refrigerator plants in Detroit and Grand Rapids, Michigan, and Argentina.⁸

A model home within Clovernook Estates (517 W. Acacia Road, photo #3 of 23) built by contractor William F. Thalman and designed by architect Edmund Schrang was sponsored by the *Milwaukee Sentinel* newspaper in cooperation with the Nash-Kelvinator Corporation (see Wm. F. Thalman, Inc. advertisement featuring an architectural rendering of this house on page 35):

From all present indications, the home will be complete, and the subdivision itself in readiness, for public inspection about June 1 [1937] of the many unique heating, lighting and air conditioning features designed by the Nash-Kelvinator corporation's engineers for the structure. The Sentinel is sponsoring this home in cooperation with Nash-Kelvinator to bring to Milwaukee for the first time a new and scientifically tested type of residence that is available in the medium price class of home.⁹

⁶ Robert R. Morris, *Glendale, Wisconsin: Rich Past, Bright Future, 1950-2000* (Glendale, WI: 50th Anniversary Committee, 2000), 62, 73.

⁷ *Ibid.*, 40; *A Brief History of Clovernook 1902-2007*, 1-4.

⁸ "Charles Nash Is Dead at 84," *The Milwaukee Journal*, 7 June 1948, 1/4.

⁹ "Walls of Sentinel's Kelvin Home Get Coat of Plaster," *Milwaukee Sentinel*, 9 May 1937, 15B/2-3.

Upon the completion of this model home, Charles Nash was quoted stating, “bringing true scientific year-round air conditioning into the home of the average American family, as the Kelvin home movement does, represents to my mind the most significant development that has occurred in American industry this century.”¹⁰

When this residence was opened to the public on 4 July 1937, the *Milwaukee Sentinel* included a twelve-page special section regarding the home, its features, and the subdivision in its edition that day. This section also was given to every visitor of the model home, which was open from 1:00 to 9:00pm every day from July 4th to July 25th. It touted the home as providing “the utmost in comfortable, economical and dependable electric living” featuring the “Kelvin package” including electric cooking, electric refrigeration, electric water heating and electric air conditioning. The *Sentinel* was quick to point out that “Kelvin Homes” were not ready-built or prefabricated homes; instead, “the fundamental and basic Kelvin Home designs and specifications are made available through registered architects.” Additional “All-Electric Kelvin Homes” within the Clovernook Estates Subdivision open for inspection at the same time were 419, 429 & 505 W. Acacia Road (see photos #4-6 of 23; as well as Wm. F. Thalman, Inc. advertisement featuring architectural renderings of these homes on page 36). At the time, these were among the approximately 100 homes nationally that featured the “Kelvin package” of electrical appliances (in September 1937, two “Kelvin Homes” were opened in Cleveland, Ohio with fanfare that included the attendance of city officials and other civic leaders). Interestingly, the primary façades of these four model homes face W. Clovernook Lane, not W. Acacia Road (note: Clovernook Lane is located directly south of Acacia Road and, while it is not depicted on many publicly available maps, it is signed and accessible from N. Jean Nicolet Road). The actual platting of Clovernook Estates and Acacia Road occurred after these model homes were built and, indeed, the building footprints of the houses appear on the original Clovernook Estates Subdivision map.¹¹

In the present time, a home with electrical conveniences may be easily overlooked considering that these appliances and temperature regulation systems are now ubiquitous; however, these changes are notable given the context of the period when the Hickcox family purchased the subject farm property in 1902. While their home at 525 W. Acacia Road was built as a year-round residence in 1903, Mrs. Hickcox recalled that the family initially spent their winters “in town” due to the fact that, “the roads were not good and there were no automobiles... it took an hour or more to drive out from town.” As well, they used a windmill to pump water and the house was lighted with candles and lamps for many years before ultimately installing a generator for electricity. Mrs. Hickcox noted this development as “a real thrill.” With this early-twentieth-century history in mind, it is significant that, by 1937, their farm would be subdivided and feature all-electric model homes with the latest Nash automobiles on display in front of them for an eager public.¹²

¹⁰ “Home Value Pointed Out By Officials,” *Milwaukee Sentinel*, 4 July 1937, 1B/2.

¹¹ “Kelvin Home Open Until July 25,” *Milwaukee Sentinel*, 4 July 1937, 1B/3-5; “Wm. F. Thalman, Inc., Presents Three All-Electric Kelvin Homes” (advertisement), *Milwaukee Sentinel* 4 July 1937, 7B/top; *A Brief History of Clovernook 1902-2007*, 8; Christopher J. Hubbert, “The Kelvin Home: Cleveland Heights Leads the Way to ‘A New and Better Way of Living’,” www.chhistory.org/FeatureStories.php?Story=KelvinHome, Accessed 25 May 2013. Not to miss an opportunity, the Nash-Kelvinator Corporation displayed Nash Cars in front of the model homes. An advertisement included in the twelve-page special section stated, “Kelvinator In Your Home, Nash In Your Garage” [“Nash Cars On Display at Opening of New Kelvin Home,” *Milwaukee Sentinel*, 4 July 1937, 2B/1-4].

¹² *A Brief History of Clovernook 1902-2007*, 1-3.

Two years following the construction of the model homes in Clovernook Estates, *The Milwaukee Journal* article dated 20 August 1939 indicates that thirty houses had already been built within the subdivision. Many of these were designed by architect Edmund Schrang and built by William F. Thalman, Inc. utilizing the “Colonial, Dutch Colonial, English and French provincial styles.” Features in the homes included “natural fireplaces, built-in bookcases, large linen closets, cross ventilation in all rooms, weatherstripping, rockwool insulation, automatic gas water heaters and gas furnaces.” The article further states that the Clovernook Estates Subdivision consists of approximately 23 acres of the original farm subdivided into 42 large lots that featured a minimum of 80 feet width and from 160 to 290 feet in depth:

The larger lots in the wooded section were restricted to single family homes costing \$8,000 or more, with the further restriction that the architecture of the home and its location on the lot must be approved by the real estate company. While many other subdivisions around Milwaukee that were opened in the 1920s have stood still or had very little growth, Clovernook has a record of 30 houses in two-and-a-half-years.¹³

Furthermore, the original section built up so rapidly that a new section (Clovernook Estates Addition No. 1) containing about 15 more acres was platted 20 July 1938. This addition consisted of fifty lots with a lower price restriction but the same requirement as to design and location. Included within Addition No. 1, N. Elm Tree Road between W. Apple Tree and W. Daphne roads developed quickly due to the presence of the Metropolitan Interceptor Sewer – the only sanitary sewer in the area (all other subdivision homes had septic systems until the City of Glendale installed sewer lines). Similar to the rest of Clovernook Estates, these N. Elm Tree Road houses were designed by Schrang and built by Thalman. The aforementioned *Journal* article also notes that houses in Addition No. 1 were developed under the National Housing Act. This act created the Federal Housing Administration (FHA) to restructure the collapsed private home financing system and stimulate private investment in housing. Subdivision plans that received FHA approval enabled developers to secure private financing and made low-cost mortgages available for prospective home owners. Monthly payments, including taxes, on houses in Addition No. 1 were approximately fifty dollars. Within three years of the creation of Addition No. 1, Clovernook Estates Addition No. 2 was platted 9 July 1941. While it is impossible to know how many of the houses within the subject district were built originally featuring the Kelvin package of appliances, the continued involvement of Thalman and Schrang (who built the four model homes), as well as the aforementioned rapid growth of the subdivision in comparison to others in the area, suggest the positive public response to the original four model homes influenced the development of Clovernook Estates.¹⁴

Subsequent additions made to Clovernook Estates were developed later and feature the following dates on their subdivision maps: Clovernook on the River (3 May 1960); Clovernook Estates Addition No. 3 (23 December 1964); Clovernook Estates Addition No. 5 (3 December 1971); Clovernook Estates Addition

¹³ “Rapid Growth in New Area: Clovernook Farm Becomes Thriving Community in Less Than Three Years,” *The Milwaukee Journal*, 20 August 1939, Section IIII, Page 13, Column 1.

¹⁴ Ibid.; *A Brief History of Clovernook 1902-2007*, 9; David L. Ames and Linda Flint McClelland, *Historic Residential Suburbs: Guidelines for Evaluation and Documentation for the National Register of Historic Places* (Washington, D.C.: U.S. Dept. of the Interior, National Park Service, National Register of Historic Places, 2002), 48.

No. 6 (26 September 1975).¹⁵

Regarding the delineation of the boundary for the Clovernook Estates Residential Historic District, Clovernook on the River and subsequent Clovernook additions were platted almost two decades or more following Clovernook Estates Addition No. 2. As a result, these areas feature a different architectural heritage and possess many Contemporary-style, wood-sided residences that are visually distinct from the Period Revival-style, stone-veneered homes within the subject district. Likewise, the Glen Mary Subdivision situated immediately to the south of the original Clovernook Estates Subdivision features its own development history. Although similar to the subject district in that its residences are stone-veneered and designed and built by Thalman-Schrang, Glen Mary lacks the architectural variety of Clovernook Estates as its nine houses are all one-story, ranch style homes. As well, it should be noted that the houses within Glen Mary were built in 1947 and later, which is beyond the Period of Significance of the subject district. Finally, while all of the original Clovernook Estates Subdivision is included within the historic district boundary, portions of Addition No. 1 and Addition No. 2 have been excluded due to the fact that they contain houses built years following their platting (indeed, in some cases, more than fifteen years following the original platting). The excluded areas of Clovernook Estates Additions No. 1 and 2 are contiguous sections located on W. Apple Tree Road and W. Daphne Road.

ARCHITECTURE:

Most of the houses within the Clovernook Estates Residential Historic District are distinguished by their stone veneer and were built in Period Revival styles with the Period Colonial Revival style most represented. While the homes on N. Elm Tree Road are generally smaller in scale than those on W. Acacia and N. River roads (featuring the federal Housing Act of 1937 association), some of them also exhibit stone veneer (e.g. 6630 & 6645 N. Elm Tree, photos #20 & 21 of 23, respectively). When built, they also featured the same restrictions in terms of their design and lot location as the other houses within district.

Popular in Wisconsin during the early to mid-twentieth century, Period Revival-style buildings referenced a wide range of past motifs and styles. Many architects commonly advertised their expertise in a broad stylistic range during this time period. Interest in the Colonial Revival style specifically, was reinvigorated with the restoration and recreation of Williamsburg, Virginia, during the 1920s and 1930s. These buildings utilize many of the classical details of Georgian and Federal styles although, in contrast to their nineteenth century antecedents, Period Colonial Revival-style structures are much smaller in scale and simpler in form and ornamentation. Indeed, they often feature symmetry of design and a modest, classically derived entrance to communicate their architectural heritage. Within the subject historic district, the houses located at 618 W. Acacia Road (photo #9 of 23) and 614 W. Apple Tree Road (photo #22 of 23) are good examples of the Period Colonial Revival style featuring classically inspired entrances featuring fanlights and sidelights. As well, the Kelvin model home at 517 W. Acacia Road (photo #3 of 23) exhibits such classical elements as brick quoining and an entrance surround with keystone. Other Period Revival styles found within the district include the Swiss Chalet style as seen with the house at 918 W.

¹⁵ During a 13 May 2013 trip to the Milwaukee County Courthouse Register of Deeds Office the map of Clovernook Estates Addition No. 4 could not be located with staff assistance.

Apple Tree Road (photo #18 of 23). Featuring decoratively sawn bargeboards and a second-floor balcony with flat balusters and decorative cut-outs, this home is a good example of this Period Revival style.¹⁶

CONTRACTOR:

Contractor William F. Thalman and architect Edmund J. Schrang were instrumental in the design and construction of many of the houses within the Clovernook Estates Residential Historic District. William Ferdinand Thalman was born on 27 January 1898, the son of Ferdinand & Maria (Loos) Thalman. Thalman's training remains unknown at this time; however, by 1928, he had entered into the business of builder/contractor (he had previously run a grocery store) with an office in Shorewood. Thalman-built homes are heavily concentrated within Milwaukee's North Shore (Fox Point, Shorewood and Whitefish Bay), but are also known to be located in Wauwatosa. Based on the fact that Thalman shared an office address with designer Robert H. Kern for three years, it is assumed that Thalman and Kern worked together from 1928 through 1931. By 1932, however, Thalman had relocated down the street and shared an address with architect Edmund J. Schrang with whom he would work with for years to come. Indeed, by no later than 1937, Thalman and Schrang produced and built homes located in the subject Clovernook Estates Subdivision in the Town of Milwaukee (present-day City of Glendale). Their combined skills brought about the entity known as Thalman-Schrang, which owned subdivided lots on which they built houses that were sold upon completion. Schrang provided the designs for the houses built by their partnership. By no later than 1934, Thalman had incorporated as William F. Thalman, Inc. Thalman himself resided in the home he built at 731 W. Acacia Road (AHI #225032, photo #14 of 23) until at least 1940; he later lived in the nearby Glen Mary Subdivision, where he also built many of its residences, at 515 W. Brentwood Lane for at least a few years. Thalman's son, James D. (b. 1927), began to work as a draftsman for Schrang as of 1948 and continued through at least 1962. William F. Thalman was active in the business until his death on 13 December 1972, while James D. died on 23 December 1987.¹⁷

ARCHITECTS:

Edmund John Schrang was born in Milwaukee on 23 July 1907, the son of German immigrants Edmund & Janina (Glinska) Schrang. After working as a draftsman for Clas, Shepherd & Clas and Keller & Son in 1925 and 1926, respectively, he had four years of private tutoring in art (1927-1931). As of 1932, he joined Roland C. Kurtz as a draftsman and, later, worked as the design draftsman for Walter F. Neumann. Between 1935 and 1936, he received private tutoring in structural design and, in 1937, Schrang

¹⁶ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 2, Architecture, 2-17, 2-28, 2-29.

¹⁷ U.S. Federal Census, 1900-1940, Available online at www.ancestry.com, Accessed in May 2013; *Milwaukee City Directory*, 1926-1952; "William F. Thalman," Obituary, *The Milwaukee Sentinel*, 13 December 1972, Part 2, 10/6; George S. Koyl, ed., *American Architects Directory* (New York: R.R. Bowker, 1962), 698; "James D. Thalman," Death Notice, *The Milwaukee Journal*, 23 December 1987, 4B; "Rapid Growth In New Area," *The Milwaukee Journal*, 20 August 1939; Advertisement for the Kelvin Home, *Milwaukee Sentinel*, 4 July 1937, 5B top. Schrang's name/signature can be clearly seen on drawing of the 1937 Kelvin Home; "Wm. F. Thalman, Inc., Presents Three All-Electric Kelvin Homes" (advertisement), *Milwaukee Sentinel*, 4 July 1937, 7B top; Drawings for four Thalman-Schrang homes on Brentwood Lane (401, 430, 460 and 461) in Glendale, on file at the Wisconsin Architectural Archive, Milwaukee Public (Central) Library, Milwaukee, WI, Index to the WAA in possession of Heritage Research, Ltd., Menomonee Falls, WI; Edmund John Schrang, *American Institute of Architects (AIA) Membership Application and File*, <http://communities.aia.org/sites/hdoaa/wiki/AIA%20scans/R-S/SchrangEdmundJ.PDF>, Accessed 25 June 2013.

organized his own firm, Edmund Schrang. In addition to design work, he also served as an instructor at the Layton School of Art. Schrang died on 28 December 1999. Schrang's signature can be clearly seen on the drawing of the Kelvin Home at 517 W. Acacia Road (AHI #225018, photo #3 of 23), as well as on the drawings for the three neighboring Kelvin Homes at 419 (AHI #225011), 429 (AHI #225013) & 505 (AHI #225015) W. Acacia Road (photos #4-6 of 23).¹⁸

Additional architects whose work is found within the Clovernook Estates Residential Historic District include Robert Spencer who designed the home at 525 W. Acacia Road for J. Gilbert & Claire Hickcox (AHI #225019, photo #8 of 23). The Hickcox family had this house built in 1903 on their recently purchased Clovernook Dairy Farm, which they later subdivided for the subject Clovernook Estates development. Robert Closson Spencer Jr. was born in Milwaukee in 1864, the son of Robert and Ellen Spencer. Following graduation from the Milwaukee High School, he received a degree in mechanical engineering from the University of Wisconsin-Madison in 1886. After spending one year with Henry Koch's firm in Milwaukee, he attended MIT from 1887-1888. After his employment with Wheelwright & Haven and then Shepley, Rutan and Coolidge (through 1890) – both located in Boston – he spent the next two years traveling Europe, having received in 1891 the Rotch traveling scholarship. Upon return, he re-joined the firm of Shepley, Rutan & Coolidge, this time in their Chicago office. He was in charge of the interior design and decoration of the Chicago Public Library. In 1895, he opened his own firm, which he maintained through 1905. In 1900, Spencer wrote an article on the work of Frank Lloyd Wright, whom he considered his friend. Spencer is probably most well-known for his Prairie School architecture and his various writings on domestic architecture, including a series of seven model Midwest farmhouses that were featured in the *Ladies' Home Journal* in 1900. From 1905 to 1923, he partnered with Horatio Powers and continued practice in Chicago. He later taught architecture at Oklahoma A&M (1928-1930) after which he taught at the University of Florida (Gainesville, FL, 1930-1934). After four years of mural painting for the U.S. Government he retired; he died in 1953.¹⁹

The Milwaukee architectural firm Kirchhoff & Rose designed the home at 514 W. Acacia Road for Arthur & Laura Slagter (AHI #225017, photo #7 of 23). Charles Kirchhoff, Jr. was born in Milwaukee in 1856, the son of Charles Sr., a carpenter and contractor. Learning the trade from his father, Charles Jr. pursued architectural studies in both Boston and New York City before returning to Milwaukee. Charles Jr.'s first job was with Henry Messmer, after which he worked on his own and during which he completed a number of commissions for the Schlitz Brewing Company. In 1897, Kirchhoff joined with Thomas L. Rose, to form the firm of Kirchhoff & Rose, which remained in business (albeit with successive owners) until 1973. Aside from their work for Schlitz, Kirchhoff & Rose are perhaps best known (locally) for the Second Ward Savings Bank (now the Milwaukee County Historical Society) at 910 North 3rd Street, as well as the home of Erwin & Paula Uihlein, at 3319 N. Lake Drive, both in Milwaukee.²⁰

¹⁸ U.S. Federal Census, 1910-1940; Koyl, ed., *American Architects Directory* (1962), 624; Social Security Death Index, Available online at www.ancestry.com, Accessed May 2013; Edmund John Schrang, *American Institute of Architects (AIA) Membership Application and File*.

¹⁹ *A Brief History of Clovernook 1902-2007*, 1; Arba Nelson Waterman, ed., *Historical Review of Chicago and Cook County*, 2 vols. (Chicago: Lewis Publishing Company, 1908), 2:913-14; "Robert C. Spencer, Jr., 1865-1953," Biographical material found online at <http://web.mit.edu/museum/chicago/spencer.html>, Accessed in June 2013.

²⁰ Kirchhoff & Rose, "A. J. Slagter Residence," Original Plans, #017-0094, (514 W. Acacia Road), Wisconsin Architectural Archive, Located at the Milwaukee Public (Central) Library, Milwaukee, WI; Biographical material on

Composed of a significant concentration of Period Revival style and, especially, Period Colonial Revival-style residences – the majority of which were built between 1937 and 1942 – the district exhibits a unique sense of time and place. With numerous examples of work of Milwaukee architect Edmund Schrang, most of the houses within the district retain a high degree of integrity. Based on this information, the Clovernook Estates Residential Historic District is considered eligible for the National Register under Criterion C: Architecture.

SUMMARY:

The Clovernook Estates Residential Historic District is considered eligible for the National Register under Criterion A: History for its development in association with the Nash-Kelvinator Corporation. As well, it is also eligible under Criterion C: Architecture featuring a significant concentration of Period Revival-style homes that retain a high degree of integrity.

ARCHAEOLOGICAL POTENTIAL:

Some prehistoric and late historic remains may be present within the district, as Wisconsin Indian nations and, later, European-Americans have inhabited the area for hundreds of years. Indeed, regarding the former, the publication, *A Brief History of Clovernook* notes that Mrs. Claire Hickcox (owner 525 W. Acacia Road) was told that Indians at one time camped in the ravine near her house (note 525 W. Acacia Road is not immediately adjacent to I-43). As well, an article in the *Milwaukee Sentinel* also addresses this subject. The presence of historic archaeological remains is possible and might be worth exploring.²¹

NEIGHBORHOOD ASSOCIATIONS:

The Clovernook Advancement Association was formed in 1941 for the purpose of promoting the interests of all property owners in Clovernook Estates. Amongst its other functions, members organized family picnics and Christmas caroling; traditions that continue in neighborhood today. As well, the Clovernook Garden Club was organized in 1951. The Garden Club hosts an annual spring clean-up and garden tour. They also produced the publication, *A Brief History of Clovernook*, which is periodically updated. Both organizations continue to be active and have established a Clovernook “Facebook” page.

Kirchhoff & Rose from “Wauwatosa Avenue Residential Historic District,” National Register nomination, Prepared by Traci E. Schnell, Heritage Research, Ltd. for the City of Wauwatosa, Wisconsin (May 2011).

²¹ *A Brief History of Clovernook 1902-2007*, 5; “Indians Lived in Clovernook Century Ago,” *Milwaukee Sentinel*, 4 July 1937, 6B/4.

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		Date:	June 2013

PHOTOGRAPHS:

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

Clovernook Estates entrance pillars flanking W. Acacia Road (Perspective view showing the proximity of the entrance pillars to Interstate Highway 43 [I-43], which parallels N. Jean Nicolet Road)

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to north

Photo #1 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

Clovernook Estates entrance pillars flanking W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to west

Photo #2 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

517 W. Acacia Road (Kelvin model home; see page 35 for corresponding historic image and architectural rendering of this house)

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northwest

Photo #3 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

419 W. Acacia Road (Kelvin model home; see page 36 for corresponding architectural rendering of this "English All-Stone Home")

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northeast

Photo #4 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

429 W. Acacia Road (Kelvin model home; see page 36 for corresponding architectural rendering of this "Western Style Home")

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northwest

Photo #5 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

505 W. Acacia Road (Kelvin model home; see page 36 for corresponding architectural rendering of this "English Red Brick Home")

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northwest

Photo #6 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

514 W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to north

Photo #7 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

525 W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to west

Photo #8 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

606 & 618 (right to left) W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northwest

Photo #9 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

634 & 646 (right to left) W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northwest

Photo #10 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

641 W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to southwest

Photo #11 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

706 W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to northwest

Photo #12 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

720 & 732 (right to left) W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northeast

Photo #13 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

731 W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to southwest

Photo #14 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

Intersection W. Acacia & N. River roads; 810 W. Acacia Road in background

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northeast

Photo #15 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

6558 & 6564 (right to left) N. River Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to north

Photo #16 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

6575 & 6585 (left to right) N. River Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to southwest

Photo #17 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

910 & 918 (right to left) W. Apple Tree Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to northeast

Photo #18 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

6640, 6650 & 6660 (right to left) N. Elm Tree Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to southeast

Photo #19 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

6630 N. Elm Tree Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to east

Photo #20 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

6625, 6635 & 6645 (left to right) N. Elm Tree Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to southwest

Photo #21 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

614 W. Apple Tree Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

June 2013

View to northwest

Photo #22 of 23

CLOVERNOOK ESTATES RESIDENTIAL HISTORIC DISTRICT

Stone-lined drainage ditches found within the district along W. Acacia Road

City of Glendale, Milwaukee County, WI

Photo by Michael T. McQuillen

May 2013

View to east

Photo #23 of 23

Photo #1 of 23



Photo #2 of 23

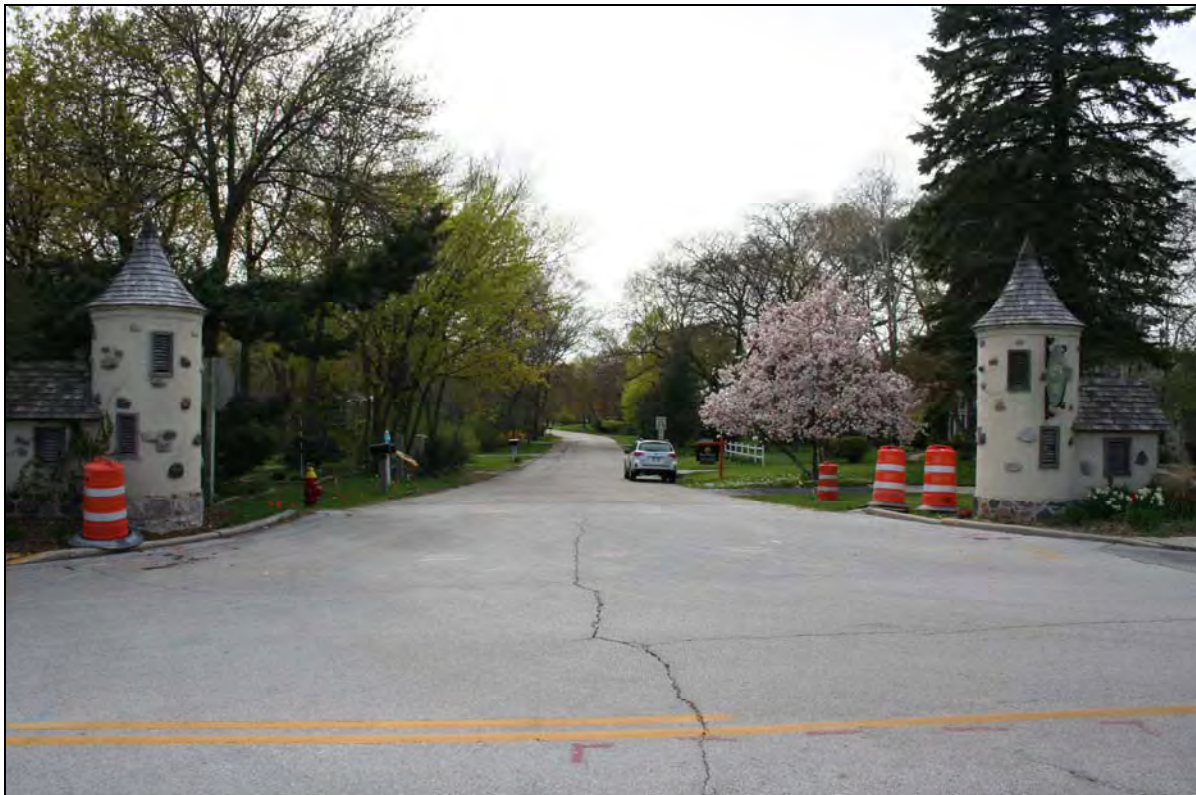


Photo #3 of 23



Photo #4 of 23



Photo #5 of 23



Photo #6 of 23



Photo #7 of 23



Photo #8 of 23



Photo #9 of 23



Photo #10 of 23



Photo #11 of 23



Photo #12 of 23



Photo #13 of 23



Photo #14 of 23



Photo #15 of 23



Photo #16 of 23



Photo #17 of 23



Photo #18 of 23



Photo #19 of 23



Photo #20 of 23



Photo #21 of 23



Photo #22 of 23



Photo #23 of 23



“Kelvin Home Ready for Debut Here” (*Milwaukee Sentinel*, 4 July 1937)



See photo #3 of 23 for corresponding address 517 W. Acacia Road

Wm. F. Thalman, Inc., Advertisement (*Milwaukee Sentinel*, 4 July 1937) (Schrang architectural rendering of the same home)



See photo #3 of 23 for corresponding address 517 W. Acacia Road

Wm. F. Thalman, Inc., Advertisement (*Milwaukee Sentinel*, 4 July 1937)

MILWAUKEE SENTINEL, FRIDAY, JULY 4, 1937

WM. F. THALMAN, Inc., Presents

THREE ALL ELECTRIC KELVIN HOMES

OPEN FOR INSPECTION TODAY AND EVERY DAY BY APPOINTMENT. 1 TO 9 P. M.



ENGLISH ALL-STONE HOME **WESTERN STYLE HOME** **ENGLISH RED BRICK HOME**

There are three more New Kelvin Homes in beautiful Clovernook Estates. Each has similar advantages of modern design and construction. Yet each is distinct in design and appearance. Each is located on a half-acre wooded lot.

Spacious living rooms, large-sized dining rooms, convenient kitchen and lavatory on the first floor. Second floor features three bedrooms and tiled bath. Ample space for fourth bedroom and bath. Two-car garages are attached.

Specifications of these homes show Rockwool insulation throughout, natural gas place in living room. Storm sash and screens, weather strip for doors and windows; plenty of built-in cupboard space in kitchen; wallpaper throughout.

Each home is mechanically cooled and air-conditioned and completely electrically equipped by Kelvinator — range, hot water heater, automatic oil burner, refrigerator, etc.

WM. F. THALMAN, Inc.
Building Contractors

4115 N. OAKLAND AVE. EDGEWOOD 2700

HOW TO GET THERE
Take Green Bay Road to Bender Road, East on Bender Road to Port Washington Road and North to city.

HOW TO GET THERE
Take Lake Drive to Silver Spring, Silver Spring to Santa Monica Boulevard, Santa Monica Boulevard to Devon Road, West on Port Washington Road, and North to Port

See photos #4-6 of 23 for corresponding addresses 419, 429 & 505 W. Acacia Road

Historic photos (undated) of Clovernook Estates from *A Brief History of Clovernook 1902-2007*



East side of N. Elm Tree Road. Addresses 6630, 6640, 6650 & 6660 N. Elm Tree Road. 6630 N. Elm Tree Road in foreground of image (photo #20 of 23). A photograph with the corresponding view could not be taken due to existing vegetation.



West side of N. Elm Tree Road. 700 W. Apple Tree Road & 6615 N. Elm Tree Road in center of image. A photograph with the corresponding view could not be taken due to existing vegetation.

Historic photos (undated) of Clovernook Estates from *A Brief History of Clovernook 1902-2007*



W. Acacia Road at intersection with N. River Road (see photo #15 of 23 for corresponding view)



W. Acacia Road entrance pillar at intersection with N. Jean Nicolet Road (see photo #2 of 23 for corresponding view)

CLOVERNOOK ESTATES

BEING A SUBDIVISION OF A PART OF THE SOUTH ½ OF
SECTION 20, TOWNSHIP 8 NORTH, RANGE 22 EAST,
TOWN OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

SCALE
NOT TO SCALE

LANDS

SECTION 20, T. 8 N., R. 22 E.
SCALE 1" = 800'

W. ACACIA ROAD

W. WASHINGTON ROAD

APPROVED
MILWAUKEE, WIS., 1917, County
RECORDS, MILWAUKEE DEPARTMENT
W. F. Cavanaugh
Registering Commissioner of Planning and Building

FILED
COUNTY CLERK'S OFFICE
AUG. 15, 1917
SEALED BY
COUNTY CLERK

Note: N. 7th Street renamed N. Elm Tree Road

13-50
P-23

CLOVERNOOK ESTATES ADDITION NO. 1

BEING A SUBDIVISION OF A PART OF THE
S. W. ¼ OF SECTION 20 T 8 N R 22 E
TOWN OF MILWAUKEE MILWAUKEE CO. WIS.

NOT TO SCALE
SCALE 1" = 60 FT.

FILED
COUNTY CLERK'S OFFICE
JUN 12/98
SAC. F. BREITBACH
COUNTY CLERK

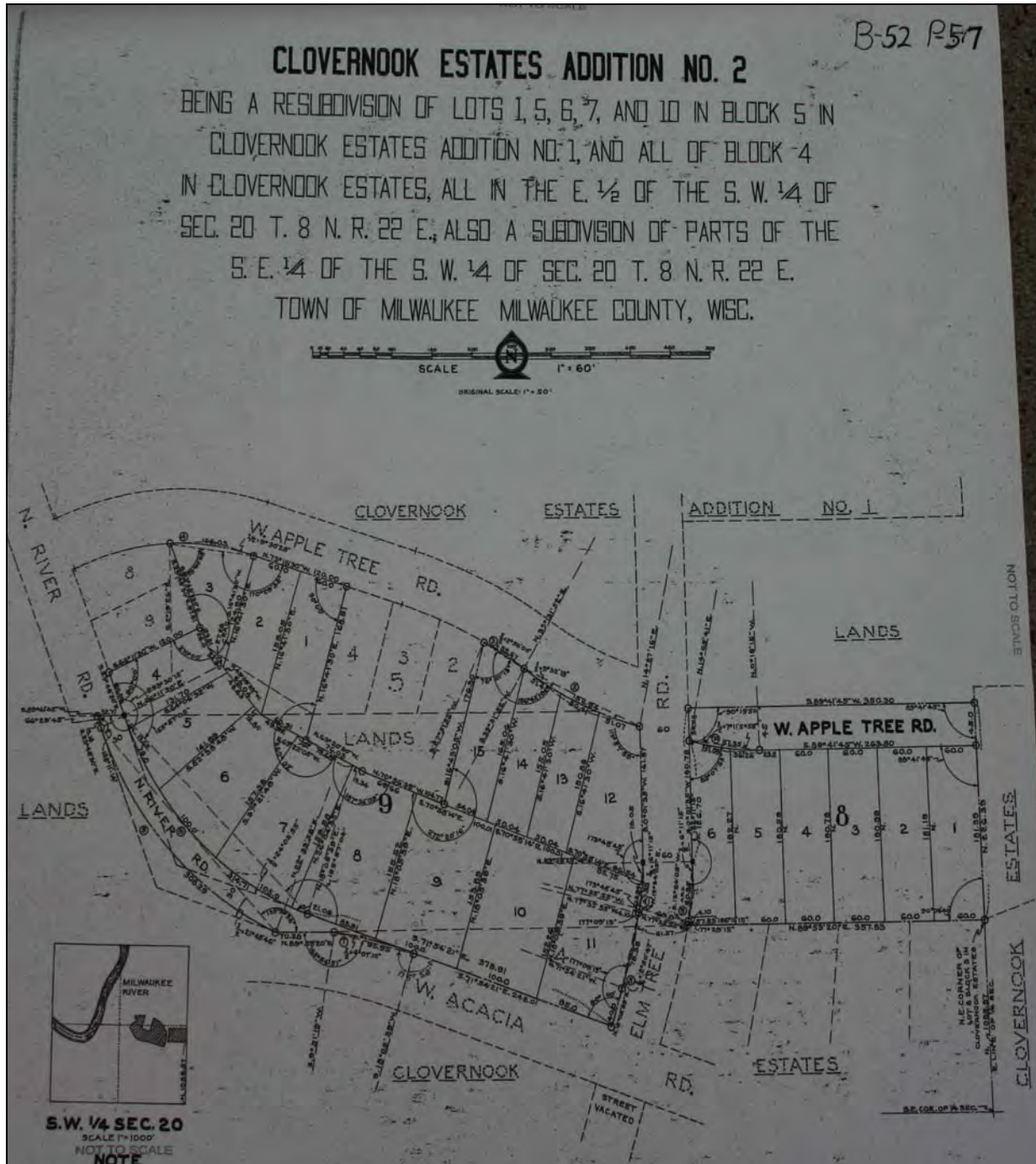
APPROVED
Witnessed July 6, 1938 County
REGISTRAR PLANNING DEPARTMENT
W. P. CONRADSON
Planning Commissioner & Planning Engineer

STATE OF WISCONSIN)
MILWAUKEE COUNTY) ss
I, H. C. Webster, surveyor, do hereby certify that I have surveyed, subdivided
and mapped Clovernook Estates, Addition No. 1, being a subdivision of a part
of the S.W. ¼ of Section 20, Town 8 North, Range 22 East, in the Town of Milwaukee, Milwaukee County,
Wisconsin, bounded and described as follows, to-wit:
Commencing at a point in the East line of said ¼ section, said point being South eight hundred
thirty-seven and no one-hundredths (837.0) feet measured along the said East line, from the N.E.
corner of said ¼ section, running thence South 89°44'10" West and parallel to the North line of said ¼
section, one thousand three hundred fourteen and seventy-three one-hundredths (1304.73) feet to a point;
thence South 89°44'10" East, five hundred fifty-five and fifty-one one-hundredths (555.51) feet to a point;
thence South 89°44'10" East, five hundred fifty-five and fifty-one one-hundredths (555.51) feet to a point;
thence South 89°44'10" East, five hundred fifty-five and fifty-one one-hundredths (555.51) feet to a point;
thence South 89°44'10" East, five hundred fifty-five and fifty-one one-hundredths (555.51) feet to a point;

CLOVERNOOK ESTATES

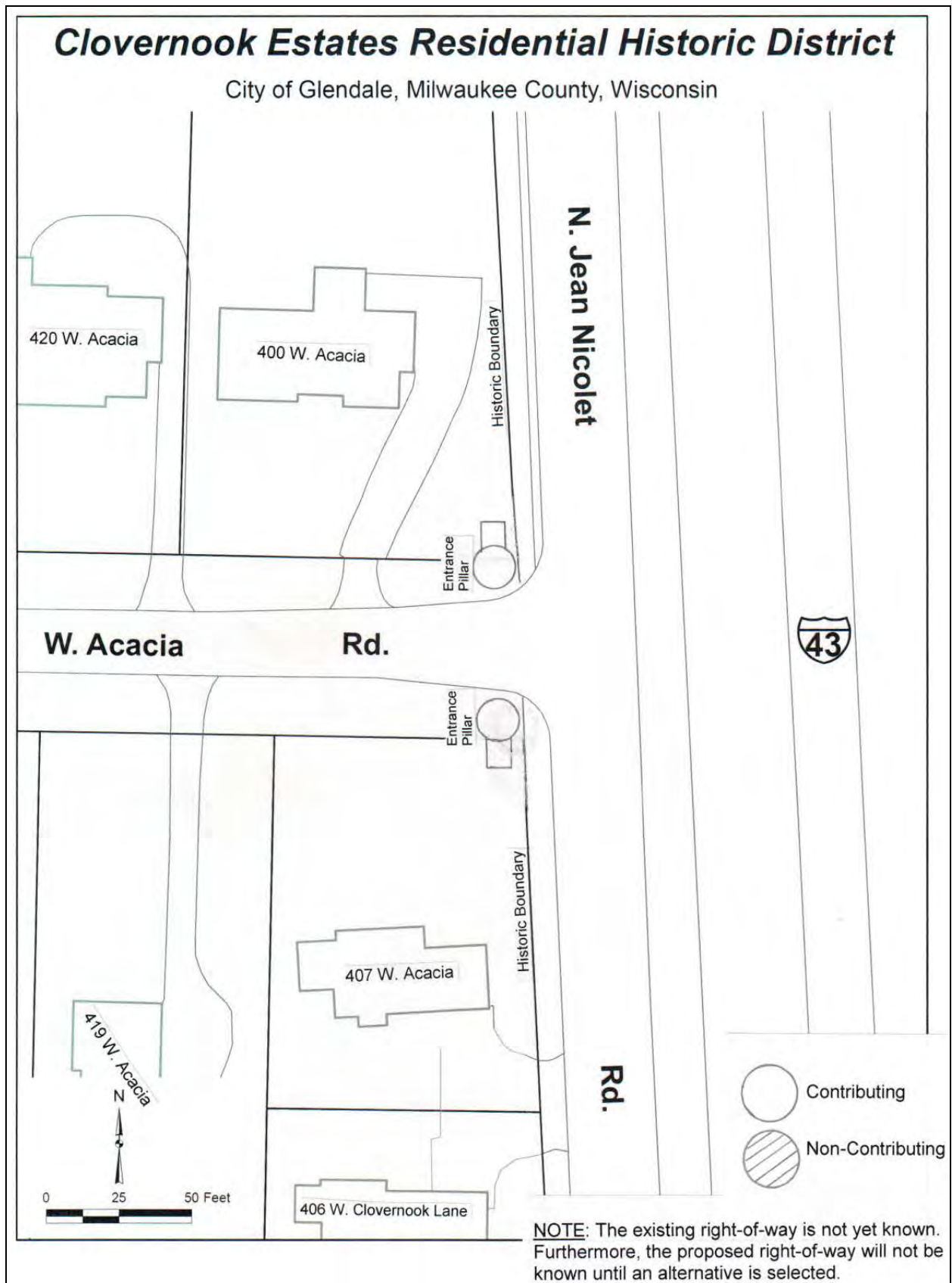
Note: N. 7th Street renamed N. Elm Tree Road

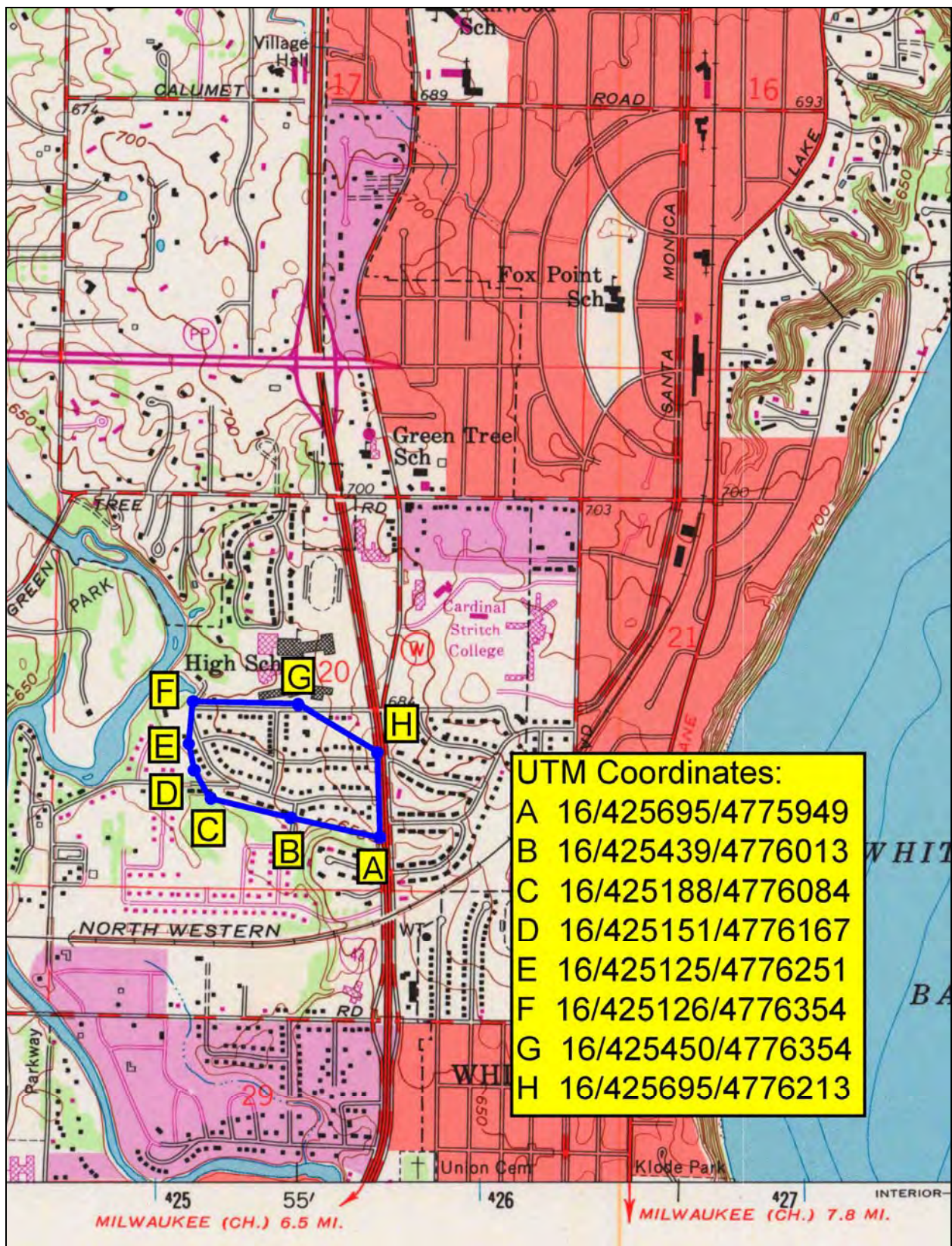
Clovernook Estates Addition No. 2 subdivision map (dated 9 July 1941):



Clovernook Estates Residential Historic District:







The blue line encompasses the Clovernook Estates Residential Historic District

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Notre Dame of the Lake

Address/Location: 12800 North Lake Shore Drive

City & County: City of Mequon, Ozaukee County **Zip Code:** 53097

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1958-59, 1961, circa 1962, 1989, 1994,
1996, 1999, 2002, 2005-2007, 2008,
2009-10, 2010-11, 2012, 2013

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

 Meets the National Register of Historic Places criteria.

 X Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

 Meets the National Register of Historic Places criteria.

 Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	_____	19
_____ public	_____ site	-->	_____	1
If public, specify:	_____ structure	-->	_____	1
	_____ object	-->	_____	_____
	_____ district	Total:	_____	21

Function/Use:

Historic Function(s): RELIGION: Religious facility & church-related residence; EDUCATION: College

Current Function(s): EDUCATION: College & education-related

Architectural Style(s): MODERN MOVEMENT

Criteria:

_____ A (history)	Areas of Significance:	Architecture
_____ B (important persons)	Period of Significance:	1958-59, 1961, ca. 1962
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	1958-59, 1961, ca. 1962, 1989, 1994, 1996, 1999, 2002, 2005-2007, 2008, 2009-10, 2010-11, 2012, 2013
_____ D (archaeology)	Significant Person:	_____
	Cultural Affiliation:	N/A
	Architect/Builder:	Brust & Brust (architect)

Criteria Considerations:

<input checked="" type="checkbox"/> A (owned by religious institution)	_____ E (reconstruction)
_____ B (moved)	_____ F (commemorative)
_____ C (birthplace/grave)	_____ G (<50 years old)
_____ D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:

Approximately 125.74 acres

UTM Reference:(A)	16	425429	4788830
(B)	16	425440	4789673
(C)	16	426166	4789674
(D)	16	426032	4788813
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is an irregular polygon. Beginning at the northwest corner of the property and proceeding clockwise the boundary measures approximately 1200 feet by 140 feet by 1100 feet by 2665 feet by 1070 feet by 70 feet by 550 feet by 2450 feet. The long-center axis is parallel to Interstate Highway 43 (I-43).

Boundary Justification:

The historic boundary reflects the property's current lot lines, the parcel of which is otherwise known as: 0872711 Part SW 66.09 ACS COMM SE COR SE SW TH N 2544 FT W 1198 FT S 1568 FT S'LY 914 FT SE 522 FT S 45 FT E 439 FT POB ALSO NW SE 33.10 ACS SW SE 26.55 ACS SEC 8 T 9 R 22.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., this former teacher-training college and provincial headquarters of the School Sisters of Notre Dame – named Notre Dame of the Lake – was identified as potentially eligible as an intact example of a mid-twentieth-century educational institution. Research for this Determination of Eligibility included contacting the Ozaukee County Historical Society. As well, *The Cedarburg News* was examined covering the period when Notre Dame of the Lake was constructed. The publication, *A Journey in Faith: A History of the Milwaukee Province of the School Sisters of Notre Dame* (2007) also was reviewed. A site visit was conducted and representatives of the current property owner, Concordia University Wisconsin, provided information and materials regarding the history of the property since their ownership of it began in 1982. As a result of this research, Notre Dame of the Lake is not recommended eligible for the National Register.

Narrative Description:

Notre Dame of the Lake is located on the northeast corner of N. Lake Shore Drive and W. Highland Road in the City of Mequon, Ozaukee County. It is sited approximately 250 feet east of Interstate Highway 43 (I-43). The property is bordered on the east by Lake Michigan and on the west by N. Lake Shore Drive. This roadway is closely paralleled by a railroad line and, beyond that, I-43. Modern residences sited on large, heavily wooded lots are located to the north, while an open grassy area is found to the south. The composition of the existing campus has been created by two institutions: the School Sisters of Notre Dame (SSND), who built Notre Dame of the Lake and owned the property from 1954 to 1982, and Concordia University Wisconsin (CUW), which has owned the property from late 1982 to the present. Ten of the campus buildings date to the Notre Dame of the Lake period, while Concordia has constructed nine buildings on campus, as well as a baseball stadium, athletic fields, and a trail and stairs accessing Lake Michigan. None of these resources are considered eligible for the National Register.

Note the buildings listed below have been separated into two groups: those associated with the historic Notre Dame of the Lake campus and those constructed by Concordia University Wisconsin. A map of Notre Dame of the Lake is found on page 37 of this document, while a map of the existing Concordia University Wisconsin campus is shown on page 38. The Notre Dame of the Lake map does not show the Guest House built in 1961, which was located north of the Professed Sisters Building, nor does it show the caretaker house sited on the south end of campus (both of these buildings are seen on aerial photographs included in this document). The Guest House is no longer extant (the CUW Center for Environmental Stewardship is located on its former site). As well, the Administration building is no longer extant and its site is currently occupied by Coburg Hall. The Guest House and Administration Building are the only two buildings formerly associated with Notre Dame of the Lake that are no longer extant. Finally, while the Notre Dame of the Lake campus was originally constructed so that all of its buildings were connected by passageways, the buildings are separately listed below and in the resource count.

Notre Dame of the Lake campus:Chapel (Non-Contributing, 1958-59):

Utilizing the same exterior building materials as the other Notre Dame of the Lake buildings, the chapel features a brick- and stone-veneered exterior (photos #5 & 6 of 31). A one-story entrance wing is found on the primary (south) facade. This wing is connected with enclosed passageways on its east and west elevations. Limestone is used to accent window openings on the chapel's side elevations. A large, square bell tower with paneled openings is found on the east façade. The building includes the large Our Lady's Chapel, as well as two smaller adjoining chapels: the Chapel of Perpetual Adoration and the Relic Chapel.

On the interior, Our Lady's Chapel features a wooden parquet floor and modern pews. A notable architectural element is the oak panels composed of triquetra grillwork (referencing the Holy Trinity) found in the upper portion of the nave (photo #30 of 31). On the east side of the chapel, these panels originally concealed the choir, organ, and an additional seating gallery. On its west, they screened service equipment. The lower nave walls are composed of travertine marble. The crucifix in the sanctuary is original, as is the Kasota stone retable behind the altar. This retable depicts the Apostles in bas-relief.

Milwaukee-based Moroder-International Statuary & Altar, Inc. designed and installed the interiors of all three chapels, while Mr. E. E. Sutter of Sutter Pattern Works produced the triquetra grillwork. The stained glass windows were designed by Sister Mary Roman Obremski and Peter Recker. Locally based Conrad Schmitt Studios installed the windows.¹

Alterations in Our Lady's Chapel include the installation of new pews and the removal of the original organ (replaced with the existing Steiner-Reck organ in 1989). As well, a number of the stained glass windows have been altered; some of these alterations resulting from the theological differences in the depiction and veneration of Mary, the Mother of God by the Roman Catholic (SSND) and Lutheran (CUW) faiths. On the south façade, the Marian figure in the large window above the center entrance had its head replaced with the head of Jesus. Flanking windows have had their wording modified by introducing additional lines to each letter giving them an appearance similar to Japanese-language orthography. Finally, the three-part east elevation stained glass window has been replaced excepting for its hopper panels, which are original. (The three-part west elevation window is unchanged).²

Professed Sisters Building (Non-Contributing, 1958-59):

Located within the northeast portion of campus, this two-story, brick-veneered, L-shaped building has a flat roof (photo #7 of 31). It features aluminum-frame windows, which were universally installed in the Notre Dame of the Lake buildings. These windows originally featured green opaque panels that recently have been painted beige by Concordia University Wisconsin. The Professed Sisters Building originally contained 100 private rooms (presumably, bedrooms), a community room, and a sewing room.

Reception Building (Non-Contributing, 1958-59):

The one-to-two-story Reception Building exhibits the same brick and stone veneer used on the Chapel and other Notre Dame of the Lake buildings (photos #8 & 9 of 31). It features a sheltered exterior walkway and diminutive bell tower. The bell tower originally stood 60-feet tall and was truncated to its current height during SSND ownership of the property. It contains the cornerstone, which is currently covered with a Concordia University bronze plaque. The Reception Building originally featured reception rooms, Reverend Chaplains' quarters, and guest rooms.

Novitiate Building (Non-Contributing, 1958-59):

The two-story Novitiate Building formerly contained classrooms, a community room, refectory, library, chapel, and dormitory space (photos #10 & 11 of 31). In 2012, it was remodeled into the CUW Student Center. This remodeling involved replacing a number of windows on the east-west oriented portion of the building.

¹ Notre Dame of the Lake/School Sisters of Notre Dame file, Concordia University Wisconsin Archives, 12800 N. Lake Shore Drive, Mequon, WI.

² Lawrence Sohn, Special Projects Coordinator and Archivist, Concordia University Wisconsin, Conversation with Michael T. McQuillen, 28 May 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

Service Wing (Non-Contributing, 1958-59):

Sited between the Novitiate Building and College Wing, the one-story Service Wing was the location of the SSND Printing and Bookbinding Department (photo #12 of 31). It also housed the kitchen, bakery, refectory, and laundry, as well as workshops, garages, and the heating plant.

Power House (Non-Contributing, 1958-59):

The brick-veneered Power House is located north of the Gymnasium/Auditorium (photo #13 of 31).

College Wing (Non-Contributing, 1958-59):

The two-story College Wing consisted of an entrance lobby and the Candidature and Juniorate wings (photos #14 & 15 of 31). Classrooms, laboratories, and music, art, and sewing departments were located on the first floor, while a library was found on the second floor. The wings contained living quarters for approximately 200 student sisters. CUW enlarged and converted the College Wing lobby to serve as the primary/administration entrance on campus. A SSND decorative tile mosaic is found within the College Wing (photo #31 of 31).

Gymnasium/Auditorium (Non-Contributing, 1961):

The brick-veneered Gymnasium/Auditorium is connected to the Caroline Academy by an enclosed bridge that spans the service drive (photo #16 of 31). In 1990, CUW renovated the building for use as their Fine Arts Auditorium.

Caroline Academy (Aspiranture) (Non-Contributing, 1961):

The one-to-two-story Caroline Academy is composed of a main block with dormitory wings (photo #17 of 31). On the first floor, the main block originally contained offices, an infirmary, parlors, typing room, sewing room, and classrooms, while classrooms, a study hall, library, and offices were located on the second floor.

Caretaker House (Non-Contributing, circa 1962):

This one-story, brick-veneered, side-gabled residence was constructed by the School Sisters of Notre Dame as a caretaker house (photo #18 of 31). CUW has alternatively used it for their building and grounds director, as a residence hall, a guest house and for storage.

Concordia University of Wisconsin buildings/additions: In addition to the following buildings and structures, Concordia changed the campus landscaping in 2006-07. As well, their athletic fields were resurfaced with field turf in 2007 and, in 2012, they painted all of the Notre Dame of the Lake buildings' green window panels the existing beige color. Finally, CUW has remodeled a number of interior spaces in the Notre Dame of the Lake buildings to meet their current needs.

Field House (FH) (Non-Contributing, 1989, 2002):

The northern block of the brick-veneered Field House was added onto the original 1989 building in 2002 (photo #19 of 31).

Health Services (HS) (Non-Contributing, 1994):

The Health Services building was constructed between the former Candidature and Juniorate wings of the College Wing (photo #20 of 31).

Siebert Hall (SH) (Non-Contributing, 1996):

Siebert Hall was built adjoining the north elevation of the Service Wing (photo #21 of 31).

Regents Hall (RE) (Non-Contributing, 1999):

Resting upon a raised basement, the brick-veneered Regents Hall is sited on the north end of campus (photo #22 of 31).

Trail to Lake Michigan (Non-Contributing, 2005-2007):

This concrete switchback trail and stairs was built as part of a three-year bluff stabilization project (photo #23 of 31).

Coburg Hall (CO) (Non-Contributing, 2008):

The five-story Coburg Hall is sited on the former location of the Notre Dame of the Lake Administration Building (photo #24 of 31).

Concordia Center for Environmental Stewardship (EC) (Non-Contributing, 2009-2010):

The Concordia Center for Environmental Stewardship is sited on the former location of the Notre Dame of the Lake Guest House (photo #25 of 31).

School of Pharmacy (PH) (Non-Contributing, 2010-2011):

The brick-veneered School of Pharmacy is located directly south of the former Juniorate wing (photo #26 of 31).

Kapco Park (KP) (Non-Contributing, 2011-2012):

Sited on the north end of campus, Kapco Park features a grandstand and concession areas (photo #27 of 31). It is the home field of the Northwoods League Lakeshore Chinooks baseball team.

Parking Structure (Non-Contributing, 2012):

A three-story parking structure is located next to Lake Shore Drive by the northeast corner of campus (photo #28 of 31).

Chemnitz Hall (CZ) (Non-Contributing, 2013):

Sited within the space created by the surrounding Professed Sisters Building and Coburg Hall, Chemnitz Hall is currently under construction (photo #29 of 31).

CRM Context Chapters:	Architecture
	Religion

Statement of Significance:

Notre Dame of the Lake was evaluated for the National Register under Criteria A, B and C. Established as the teacher-training college and provincial headquarters of the School Sisters of Notre Dame (SSND), Notre Dame of the Lake served this community from 1958 to 1982, at which time the property was sold to Concordia University Wisconsin. In the mid-twentieth century, the SSND Milwaukee Province's jurisdiction included Wisconsin, Illinois, Indiana, Michigan, Ohio, and Guam where the Sisters staffed 150 schools educating 75,000 students. In terms of education formation or teaching methods, their recently published history, *A Journey in Faith: A History of the Milwaukee Province of the School Sisters of Notre Dame* (2007) did not reveal any information that would substantiate eligibility under Criterion A or B. In terms of Criterion C, Notre Dame of the Lake was designed by the Milwaukee architectural firm Brust & Brust in a Contemporary style. Buildings were constructed between 1958 and circa 1962 forming a cohesive, mid-twentieth-century campus. However, several factors preclude eligibility based on architectural significance or as a unique property type. Notably, two of the original Notre Dame of the Lake buildings are no longer extant; namely, the Administration Building and the Guest House. Additionally, other campus buildings feature exterior alterations including the truncation of the bell tower next to the Reception Building, the modern fenestration on the Novitiate Building, and the extension of the entrance on the College Wing. These alterations are in addition to interior remodeling that has occurred in a number of the buildings, including the chapel. As well, Concordia University Wisconsin (CUW) has constructed many buildings/facilities during their period of ownership. Indeed, the resource count is virtually evenly split in terms of original Notre Dame of the Lake buildings and CUW buildings. While CUW has been sensitive to the historic campus in terms of design – utilizing the same color brick and similar fenestration as originally employed – the fact remains that the campus features a significant number of modern structures intermixed throughout the historic core. Finally, these modern buildings are visually dominant due to their larger massing. While the School Sisters of Notre Dame buildings are predominantly one or two stories in height, the Concordia University buildings are often taller with Regents Hall and Coburg Hall standing at four and five stories, respectively. Therefore, based on this information, Notre Dame of the Lake is not recommended eligible for the National Register under Criterion C: Architecture in terms of Criteria Consideration A: Religious Properties.

Historical Background:

Notre Dame of the Lake was established by the School Sisters of Notre Dame. This religious order was founded in Bavaria (Germany) in 1833 by Caroline Gerhardinger. The Napoleonic Wars (1799-1815) had left Bavaria in a poor state of affairs and Caroline believed that the renewal of society would be achieved through the leadership of mothers of Christian families. As a result, the education of girls became Caroline's mission. After taking the name Mother Theresa of Jesus, Caroline was thereafter known as Mother Theresa Gerhardinger. For fourteen years, Mother Theresa worked on educating young girls in poor rural areas of Bavaria.³

³ "Visitation Convent Complex," National Register nomination, Prepared by Traci E. Schnell for the School Sisters of Notre Dame (December 2010), Section 8, Page 2.

In 1847, King Ludwig I of Bavaria (known also as King Louis in the United States), as well as Archbishop Reisach of Munich-Freising, requested that Mother Theresa start a mission school in Pennsylvania, where a group of German immigrants had recently located. King Ludwig I was a staunch nationalist and, in order to preserve the German language and culture of the immigrants, he supplied the necessary funding to do so. Mother Theresa answered the call, explaining that she would accompany the group of five “in case a motherhouse is to be founded.”⁴

Among the group of five that made the trip to the United States was Sister Caroline Friess. Friess, who was born in 1824, just outside of Paris, France, entered the Notre Dame Order of nuns in France. After reaching the United States, Mother Theresa’s group, which included Sister Caroline, were granted permission to teach in Baltimore. Thereafter, Mother Theresa and Sister Caroline would travel west to the Mississippi and back again, all along the way gaining sisters in, what they termed, their congregation. After approximately one year, Mother Theresa left the young Sister Caroline to manage the American mission of the School Sisters of Notre Dame.⁵

Following a trip back to Germany, where she was appointed to a three-year term as Vicar General of the School Sisters of Notre Dame in America, Sister Caroline returned to the United States to establish a Motherhouse in Milwaukee, Wisconsin, where Germans were in greater population. Thereafter, the status of the Baltimore “house” would remain simply as a convent. On 15 December 1850, Sister Caroline, four additional sisters and a candidate arrived in Milwaukee. The original Motherhouse, a two-story, brick house with four chimneys, was located at the corner of Knapp and Milwaukee streets (no longer extant). Within less than a year an addition was made to the Motherhouse, doubling it in size. The earliest additions accommodated a “select” day school, as well as a boarding school, which was called St. Mary’s Institute. In 1855, a substantial, 180-foot, three-story addition was completed.⁶

That same year (1855), Mother Caroline made a trip west to see about establishing a mission in Watertown. As the story is told, about nine miles west of Milwaukee and on the Watertown Plank Road, the horse pulling her carriage abruptly stopped, refusing to go no further. Mother Caroline took this as a sign from God that this was the location upon which she was to build a convent, an orphanage and a small rural school. This spot was located in what is now the Village of Elm Grove, at the present-day site of the School Sisters of Notre Dame convent complex (National Register-listed 25 May 2011). Mother Caroline became a citizen of the United States in 1856 and, during her lifetime, she oversaw the establishment of 237 institutions, including schools/institutes and orphanages. Sisters in the Order, which numbered a mere forty in 1850, had grown to approximately 2,000 by her death. Furthermore, students in 1850 were estimated at 1,000, whereas forty-two years later, there were 70,000.⁷

When Notre Dame of the Lake was established, the SSND Milwaukee Province consisted of 2,200 sisters, 47 novices, 57 candidates, and 100 aspirants. Its jurisdiction included Wisconsin, Illinois, Indiana,

⁴ Ibid.

⁵ Ibid.

⁶ Ibid.

⁷ Ibid., 8/3 & 8/5.

Michigan, Ohio, and Guam where they staffed 150 schools educating 75,000 students. Locally, some of the educational institutions with which they were affiliated were Mount Mary College and Notre Dame and Messmer high schools, as well as thirty elementary schools in the greater Milwaukee area. In the 1950s, the School Sisters of Notre Dame formation program had postulants, novices, and first-year junior sisters taking their college classes at Notre Dame of the Lake. Second-year junior sisters attended classes and resided at Mount Mary College. During the following decade, sisters continued to pursue their studies at both Notre Dame of the Lake and Mount Mary College, while also spending time living in and experiencing a variety of communities as they completed their education.⁸

Resource-Specific History:

The School Sisters of Notre Dame purchased the subject property on 26 November 1954, initially for use as a farm, but with the vision as the future site of a new motherhouse. Owned by the Blank Brothers and locally known as the Kieckhafer Farm, the property consisted of 133 acres and featured one-half mile of Lake Michigan frontage. The physical condition of their motherhouse at 1324 N. Milwaukee Street, Milwaukee (nonextant) and its need for costly improvements accelerated this process and funding-raising for a new facility began immediately. Interestingly, local zoning regulations prohibited certain institutional uses on the property. As a result, the SSND stressed the primary use of the buildings – a teacher-training center for its members – instead of the provincial headquarters function, although the facility would serve both roles. In this vein, the name “Notre Dame of the Lake: A College for Sisters” or, simply, “Notre Dame of the Lake,” was adopted.⁹

Groundbreaking took place on 7 June 1957 with the cornerstone laid a year later on 8 June 1958. Designed by the Milwaukee architectural firm Brust & Brust, Notre Dame of the Lake was built by three separate construction companies. Elements of the downtown Milwaukee motherhouse, such as the altar, tabernacle and some pews, were removed and incorporated into the new chapel in Mequon. Five buses transported groups of sisters from their former home to the subject facility on 1 May 1959. Later that month, 30,000 visitors came to an open house and, on 6 June 1959, several religious congregations toured the campus. The property was formally dedicated on 9 June 1959 by Most Reverend William E. Cousins, Archbishop of Milwaukee.¹⁰

Following the dedication, some construction work was ongoing. One of these projects was building the gymnasium/auditorium required by the North Central Association in order for the academic programs to retain their accreditation. As well, a building for the aspirants known as Caroline Academy was completed. This structure contained six dormitories, classrooms, a library, infirmary, faculty/community room, sewing room, and administrative offices. Finally, a guest house (nonextant) featuring eleven double and ten single bedrooms, a large kitchen, and a social room overlooking the lake was constructed just

⁸ Mary Briant Foley and Linda Marie Bos, SSND, *A Journey in Faith: A History of the Milwaukee Province of the School Sisters of Notre Dame* (Milwaukee, WI: By the authors, 2007), 262, 270, 274-275.

⁹ *Ibid.*, 240-241, 253-254.

¹⁰ *Ibid.*, 264; “Nuns Move Into College,” *The Cedarburg (WI) News*, 6 May 1959; “Open House at College in Mequon,” *The Cedarburg News*, 27 May 1959. The three construction companies were Gebhard-Berghammer, Inc., Ed. Steigerwald & Sons, and H. Schmitt & Son, Inc., all of Milwaukee [“Milwaukee Architects Show How New Building Method Using Styrofoam Saves Time and Money” (Dow Chemical Company Advertisement), *Progressive Architecture* 39, no. 10 (October 1958): 72-73].

north of the campus. This building had multiple uses, serving as a vacation spot for groups of sisters, as well as being utilized as a retreat center, a conference center, and a site to host groups. The gymnasium/auditorium and Caroline Academy were built in 1961, while the guest house was completed a year later in 1962. A caretaker house also was built circa 1962.¹¹

Notre Dame of the Lake served the SSND for over twenty years; however, by the early 1980s, they decided it was a larger facility than needed due to a decrease in the number of women entering the community and changes in formation policy. The property was sold in 1982 to Concordia University Wisconsin, which continues to use the campus for their private liberal arts school that is affiliated with the Lutheran Church.¹²

Architecture:

Notre Dame of the Lake was designed by the Milwaukee architectural firm Brust & Brust. This longtime firm traces its roots to Peter Brust, who was born on 4 November 1869 in the Town of Lake, Milwaukee County, Wisconsin. He began his career as a carpenter and became a draftsman in 1886. In 1890, he began an architectural apprenticeship with the noted Milwaukee firm of Ferry & Clas. While at this firm, he assisted with the designs of the tower for the St. John's Roman Catholic Cathedral in 1892 and the Milwaukee Public Library from 1895 to 1899. Brust joined the firm of H.C. Koch & Company in 1900 and then quickly took a chief draftsman job with Verner C. Esser in 1902. Both the Koch and Esser firms designed a number of churches in the Milwaukee area. In 1905, Brust traveled to Europe with a number of Milwaukee architects and formed a successful partnership the next year with Richard Philipp – a partnership that lasted until 1926. The firm of Brust & Philipp produced a number of substantial designs in Wisconsin including the master plan for the industrial community of Kohler, Wisconsin. After the break up with Philipp, Brust started his own firm and later was joined by his sons Paul and John in 1929 and 1936, respectively. Brust also was active in professional circles. He was an original member of the Milwaukee Park Commission and served on committees that wrote the first building codes for both Milwaukee and the State of Wisconsin. He also served two terms as president of the Wisconsin Chapter of the American Institute of Architects. Brust died on 22 June 1946 and his sons, Paul C. and John J., took control of the firm. Paul Brust attended both Marquette and Notre Dame universities and completed postgraduate work at Columbia University prior to joining his father's architectural practice in 1929. During the early part of his career he also worked at intervals for the Milwaukee County Regional Planning Department, federal architects' office in Washington D.C., federal housing administration, and the United States engineers. Paul and John Brust maintained the firm of Brust & Brust until 1973.¹³

In addition to Notre Dame of the Lake, the firm designed numerous other notable ecclesiastic and school structures for the Catholic Church including the buildings within the St. Aloysius Catholic Church complex (1926-1954) and Holy Assumption Catholic Church complex (1956-1961), both of which are found in the City of West Allis, Milwaukee County. They also designed Christ King Church (1955), St. Gregory the

¹¹ Foley and Bos, SSND, *A Journey in Faith*, 280-281, 306.

¹² Ibid., 376-377.

¹³ *Historical & Architectural Resources Survey, City of West Allis, Milwaukee County* (Menomonee Falls, WI: Heritage Research, 2007), 40-41; "Architect Paul Brust Heads Archdiocesan Council of Catholic Men," *The Milwaukee Journal*, 17 March 1964.

Great Roman Catholic Church (1956), and De Sales Preparatory Seminary (the Cousins Center) (1961-63), all of which are located in the City of Milwaukee. Indeed, Paul Brust was a daily communicant and member of a number of Catholic organizations including the Holy Name Society, Catholic Information Society, Serra Club, St. Vincent de Paul Society, and the Knights of Columbus. In 1964, he was the head of the Archdiocesan Council of Catholic Men, which was a federation of approximately 280 parish Holy Name societies and forty interparochial affiliates. The Council was characterized as the most influential lay organization of Catholics in the Milwaukee area acting as a channel for communication between the Archbishop and represented organizations.¹⁴

Built between 1958 and circa 1962, Notre Dame of the Lake is an example of Contemporary architecture; a designation that can be used to describe any mid-twentieth century building of distinction and potential historic interest whose identity or features cannot be ascribed to styles and forms of the past. The campus is a unique embodiment of Contemporary design in the form of the educational institution property type. However, several factors preclude eligibility under Criterion C. The first is the fact that two of the original SSND buildings are no longer extant; namely, the Administration Building and the Guest House. Additionally, other Notre Dame of the Lake buildings feature exterior alterations including the truncation of the bell tower next to the Reception Building (photo #8), the new fenestration on the Novitiate Building (photos #10 & 11), and the extension of the entrance on the College Wing (photo #15). These alterations are in addition to interior remodeling that has occurred in a number of the original campus buildings, including the chapel. Concordia University Wisconsin has now occupied the property for a longer period than did the School Sisters of Notre Dame and this is reflected in the existing composition of the campus, which features as many Concordia-constructed buildings/facilities as original SSND buildings. While CUW has been sensitive to the historic campus in the design of their buildings, employing the same color brick and similar fenestration, the fact remains that the property features a significant number of modern structures throughout the historic core. Finally, these modern buildings are visually dominant due to their larger massing. While the School Sisters of Notre Dame buildings are predominantly one or two stories in height, the Concordia University buildings are often taller with Regents Hall and Coburg Hall standing at four and five stories, respectively. Therefore, based on the loss of two historic campus buildings and introduction of a number of modern structures, many of which are larger in scale, Notre Dame of the Lake is not recommended eligible for the National Register under Criterion C: Architecture.¹⁵

¹⁴ "Architect Paul Brust Heads Archdiocesan Council of Catholic Men," *The Milwaukee Journal*, 17 March 1964. Monsignor Leo J. Brust, former Chancellor of the Milwaukee Archdiocese, was a cousin of Paul & John Brust.

¹⁵ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 2, Architecture, 2/37; Sohn, Conversation with McQuillen, 28 May 2013.

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Wyatt, Barbara, ed. *Cultural Resource Management in Wisconsin*. 3 vols. Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986.

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		Date:	May 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in May 2013

(Note: a perspective photograph showing the relationship of Notre Dame of the Lake to I-43 could not be taken due to the proximity of the campus to the interstate. Also note, following the perspective photographs below that show the relationship of buildings on campus to each other, the individual building photographs follow the same order as seen in the Narrative Description).

NOTRE DAME OF THE LAKE (Perspective view looking northwest; School of Pharmacy on far left, Chapel in background on far right)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #1 of 31

NOTRE DAME OF THE LAKE (Perspective view looking northwest; Chapel on the left, Reception Building in foreground, Coburg Hall on the right)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #2 of 31

NOTRE DAME OF THE LAKE (Perspective view looking south; Professed Sisters Building in foreground, Coburg Hall in background, Regents Hall on the right)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to south

Photo #3 of 31

NOTRE DAME OF THE LAKE (Perspective view looking northeast; Buildings from left to right: Caroline Academy, Gymnasium/Auditorium, College Wing, School of Pharmacy)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #4 of 31

NOTRE DAME OF THE LAKE (Chapel)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to north

Photo #5 of 31

NOTRE DAME OF THE LAKE (Chapel)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southwest

Photo #6 of 31

NOTRE DAME OF THE LAKE (Professed Sisters Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southeast

Photo #7 of 31

NOTRE DAME OF THE LAKE (Reception Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #8 of 31

NOTRE DAME OF THE LAKE (Reception Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #9 of 31

NOTRE DAME OF THE LAKE (Novitiate Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southwest

Photo #10 of 31

NOTRE DAME OF THE LAKE (Novitiate Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southeast

Photo #11 of 31

NOTRE DAME OF THE LAKE (Service Wing)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #12 of 31

NOTRE DAME OF THE LAKE (Power House)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #13 of 31

NOTRE DAME OF THE LAKE (College Wing)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to north

Photo #14 of 31

NOTRE DAME OF THE LAKE (College Wing)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #15 of 31

NOTRE DAME OF THE LAKE (Gymnasium/Auditorium)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #16 of 31

NOTRE DAME OF THE LAKE (Caroline Academy [Aspiranture])

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southeast

Photo #17 of 31

NOTRE DAME OF THE LAKE (Caretaker House)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southwest

Photo #18 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Field House)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southeast

Photo #19 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Health Services)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #20 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Siebert Hall)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to west

Photo #21 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Regents Hall)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southwest

Photo #22 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Trail to Lake Michigan)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to south

Photo #23 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Coburg Hall)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #24 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Center for Environmental Stewardship)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #25 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin School of Pharmacy)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #26 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Kapco Park)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to west

Photo #27 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Parking Structure & football field bleachers)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northwest

Photo #28 of 31

NOTRE DAME OF THE LAKE (Concordia University Wisconsin Chemnitz Hall – building under construction behind Professed Sisters Building)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southwest

Photo #29 of 31

NOTRE DAME OF THE LAKE (Interior – Chapel)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to northeast

Photo #30 of 31

NOTRE DAME OF THE LAKE (Interior – College Wing)

12800 North Lake Shore Drive

City of Mequon, Ozaukee County, WI

View to southeast

Photo #31 of 31

Photo #1 of 31



Photo #2 of 31



Photo #3 of 31



Photo #4 of 31



Photo #5 of 31



Photo #6 of 31



Photo #7 of 31



Photo #8 of 31



Photo #9 of 31



Photo #10 of 31



Photo #11 of 31



Photo #12 of 31



Photo #13 of 31



Photo #14 of 31



Photo #15 of 31



Photo #16 of 31



Photo #17 of 31



Photo #18 of 31



Photo #19 of 31



Photo #20 of 31



Photo #21 of 31



Photo #22 of 31



Photo #23 of 31



Photo #24 of 31



Photo #25 of 31



Photo #26 of 31



Photo #27 of 31



Photo #28 of 31



Photo #29 of 31



Photo #30 of 31



Photo #31 of 31



Historic Photographs of Notre Dame of the Lake:



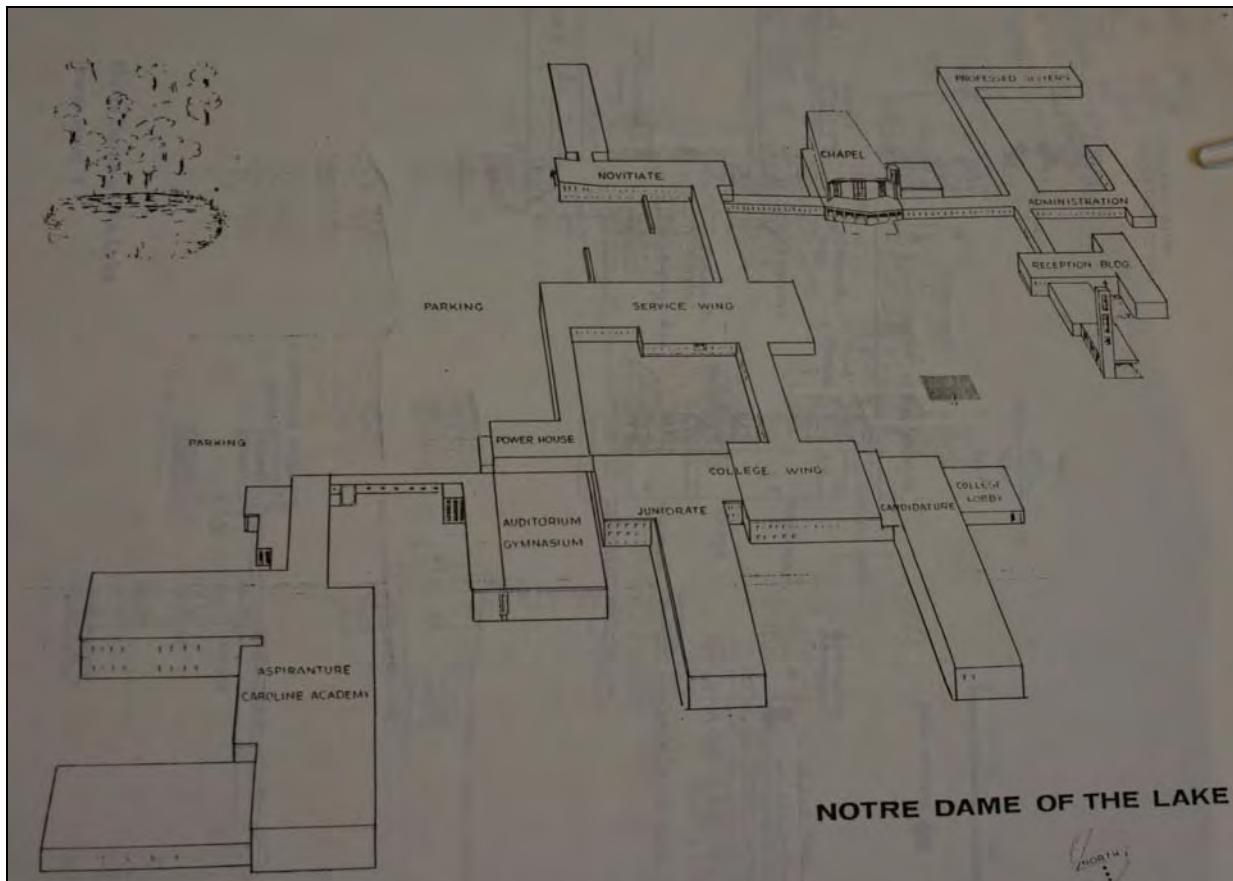
Notre Dame of the Lake as the core campus neared completion (*A Journey in Faith*, page 259). Photograph taken prior to the construction of the Gymnasium/Auditorium; Caroline Academy (aspirature); Guest House; and caretaker house.



Notre Dame of the Lake including the Gymnasium/Auditorium; Caroline Academy (aspirature); Guest House; and caretaker house (*A Journey in Faith*, page 280).



Circa 1963 aerial photograph of Notre Dame of the Lake in possession of Concordia University Wisconsin archives.

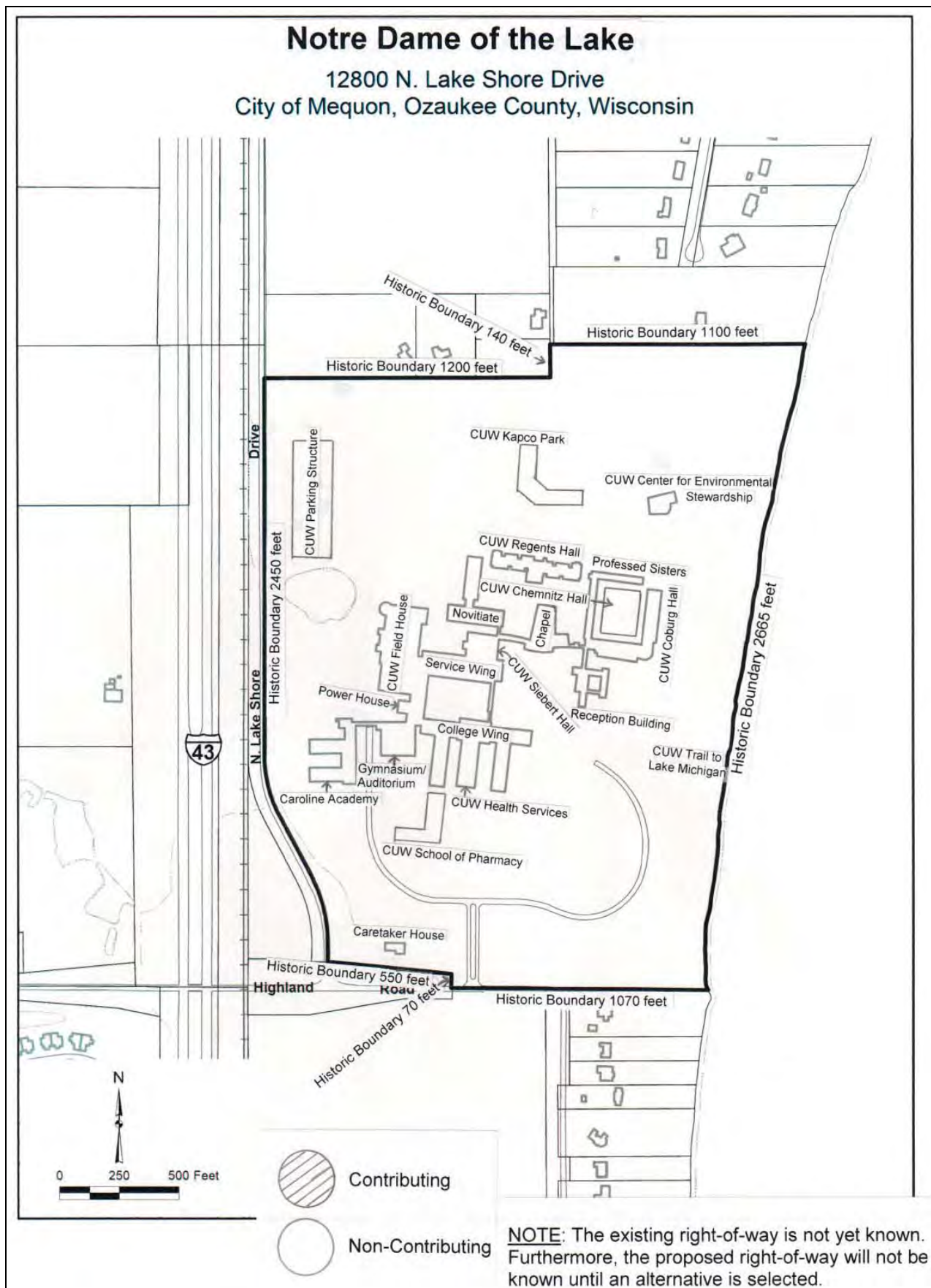


Notre Dame of the Lake campus layout with buildings identified (undated).

Existing Concordia University Wisconsin (CUW) campus:



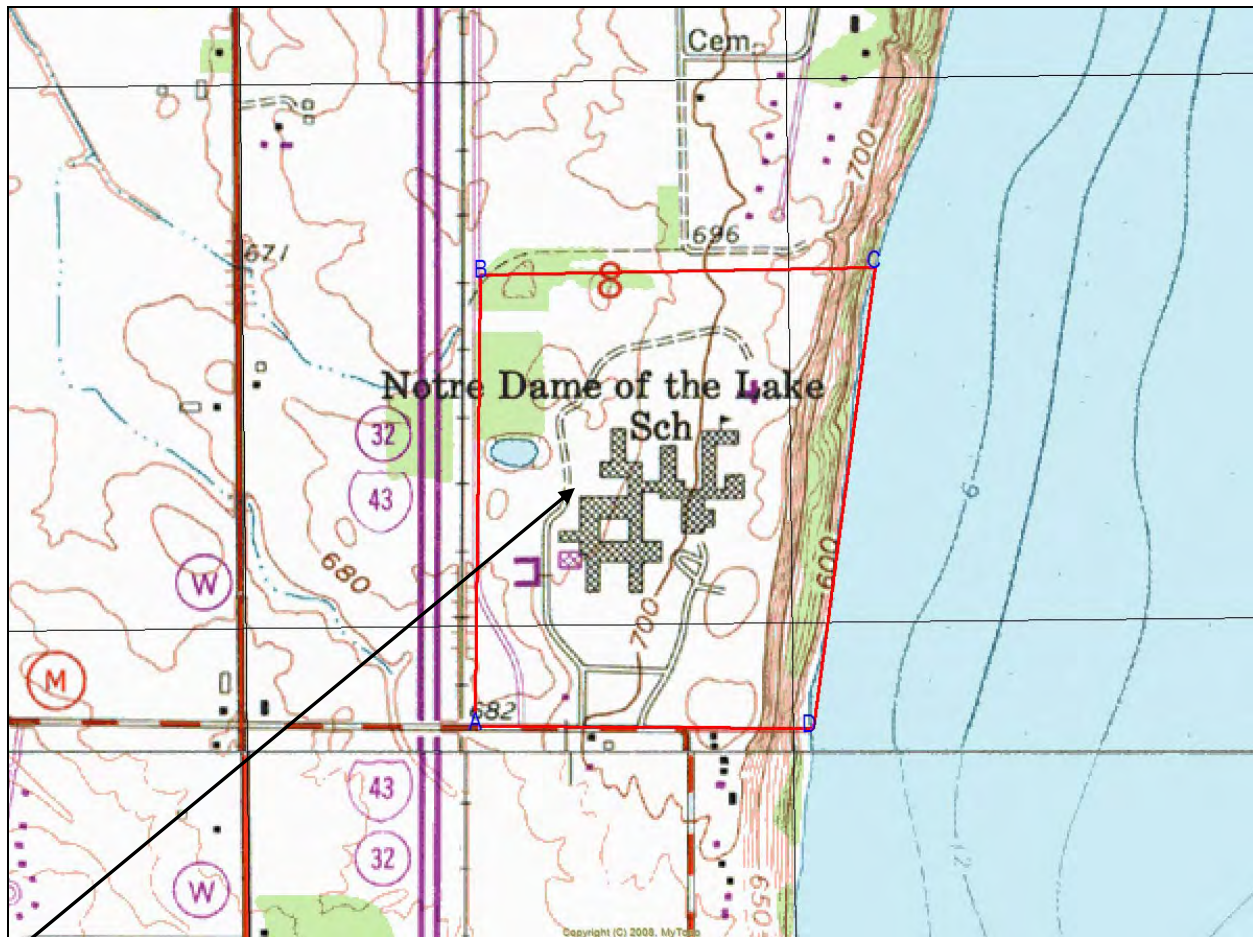
Note: The buildings/features highlighted in yellow are those that have been constructed during the period when Concordia University Wisconsin has owned the property.



USGS Cedarburg

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



Notre Dame of the Lake

12800 North Lake Shore Drive, City of Mequon, Ozaukee County, WI

(A) Zone 16	425429 Easting	4788830 Northing
(B) Zone 16	425440 Easting	4789673 Northing
(C) Zone 16	426166 Easting	4789674 Northing
(D) Zone 16	426032 Easting	4788813 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Congregation Sinai Synagogue

Address/Location: 8223 N. Port Washington Road

City & County: Village of Fox Point, Milwaukee County **Zip Code:** 53217

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1961-62, 2006

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

 Meets the National Register of Historic Places criteria.

 X Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

 Meets the National Register of Historic Places criteria.

 Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	_____	1
<input type="checkbox"/> public	<input type="checkbox"/> site	-->	_____	_____
If public, specify:	<input type="checkbox"/> structure	-->	_____	_____
	<input checked="" type="checkbox"/> object	→	_____	1
	<input type="checkbox"/> district	Total:	0	2

Function/Use:Historic Function(s): RELIGION: Religious facilityCurrent Function(s): RELIGION: Religious facility**Architectural Style(s):** MODERN MOVEMENT**Criteria:**

<input type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1961-62</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1961-62, 2006</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	_____
	Cultural Affiliation:	_____
	Architect/Builder:	<u>Loebl, Schlossman & Bennett (architects, 1961-62 building); The Kubala Washatko Architects, Inc. (architects, 2006 addition)</u>

Criteria Considerations:

<input checked="" type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:

Approximately 3.21 acres

UTM Reference:

16

425799

4779484

Zone

Easting

Northing

Verbal Boundary Description:

The historic boundary of the property is an irregular polygon. Beginning at the northwest corner of the property and proceeding clockwise the boundary measures approximately 360 feet by 30 feet by 30 feet by 330 feet by 440 feet by 350 feet. The long-center axis is perpendicular to Interstate Highway 43 (I-43).

Boundary Justification:

The historic boundary reflects the property's current lot lines, the parcel of which is otherwise known as: COM 2141.17 FT. W. AND 1259.86 FT. N. OF SE COR OF SE1/4 SEC. 8-8-22 TH E. 525.05 FT. N. 15D48M W. 125.4 FT. W. 488.7 FT. TH S. 120 FT. TO BEG.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject synagogue was identified as potentially eligible for significance as a good example of Contemporary style architecture. Research for this Determination of Eligibility consisted of conducting a site visit where historic photographs of the building during and after its construction were reviewed. In 2006, additions were constructed on the east and rear elevations of the synagogue. While sympathetic to the original design of the building, these additions are visually prominent and significantly increase its size. When these additions have achieved historic significance in their own right (i.e., within fifty years of their construction), the National Register eligibility of Congregation Sinai Synagogue should be reassessed. However, at this time, the additions preclude eligibility under Criterion C: Architecture with regard to Criterion Consideration A.

Narrative Description:

The Congregation Sinai Synagogue is located on the west side of N. Port Washington Road between N. Indian Creek Parkway and W. Willow Terrace in the Village of Fox Point, Milwaukee County. It is sited approximately 550 feet east of Interstate Highway 43 (I-43). The property features an asphalt parking lot to the south and a grassy, wooded area on the north. Trees found between the synagogue and I-43 prevent the building from being seen from the freeway. Congregation Sinai Synagogue and a free-standing sign are the only two resources on the property, both of which are non-contributing elements.

Synagogue (Non-Contributing, 1961-62, 2006)¹:

Featuring asymmetrical massing, the synagogue is composed of a one-story, painted-brick center section framed by larger, limestone-veneered blocks, both of which exhibit irregular rooflines and curved exterior walls (photos #1 & 3 of 6). Indeed, the eastern example – constructed as an addition in 2006 – was likely designed to reference the original 1961-62 portion of the building.

A flat-roof portico on the primary (south) façade features projecting beams and metal supports resting on concrete bases (photo #2 of 6). Glass-enclosed entrances are found on each end of the one-story center section. A cornerstone by the west entrance is inscribed with the dates: 1961-5721. The western limestone-veneered block, which contains the sanctuary on its interior, lacks fenestration on its primary façade. However, rising above the one-story center block, its east wall features square, fixed-sash and clerestory windows. The 2006 addition exhibits a series of small, regularly-spaced, fixed-sash windows, as well as clerestory windows found on its west wall.

A large exterior chimney is located on the west façade (photo #1 of 6). This elevation is characterized by its thin buttresses and expansive windows.

The series of small, fixed-sash windows found on the primary façade of the addition wrap around to its east elevation (photos #3 & 4 of 6). The northern portion of this façade is recessed and features larger windows.

The rear (north) elevation is heavily fenestrated (photos #4 & 5 of 6). An outside worship area is located next to the center section of the building on this façade. To its west, a gabled addition, also built in 2006, increased the size of the social hall on the interior.

The interior composition of the main floor consists of a sanctuary (photo #6 of 6) with adjoining social hall that opens onto the sanctuary space. A Rabbi's office, general office space, and kitchen are also found on the main floor, while the lower level consists of multiple classrooms.

Alterations to the synagogue include the construction of additions on the east and rear (north) elevations in 2006. A Worship & Learning Center, new library and additional classroom space were added significantly increasing the size of the original building. As well, the social hall was enlarged, an elevator was installed, and the pews in the sanctuary were removed at that time.

¹ Historic photographs of Congregation Sinai Synagogue, In possession of Congregation Sinai, 8223 N. Port Washington Road, Village of Fox Point, WI; Congregation Sinai Temple, Information regarding the 2006 additions found on The Kubala Washatko Architects, Inc. website: <http://www.tkwa.com/congregation-sinai-temple/>, Accessed 22 April 2013.

Sign (Non-Contributing, 2006):

A limestone-veneered sign is found by the driveway entrance to the property (photo #3 of 6).

Congregation Sinai Synagogue is an example of Contemporary style architecture; a designation that can be used to describe any mid-twentieth-century building of distinction and potential historic interest whose identity or features cannot be ascribed to styles and forms of the past. Specifically, with its lack of symmetry and sweeping, curved, stone-veneered wall, the original 1961-62 building could be identified with Neo-Expressionist design.⁵

In terms of architectural significance, while the original building meets the National Register fifty-year threshold, the 2006 additions are visually prominent and dramatically increase the size of the synagogue. These additions are sympathetic to, and “blend-in” with, the original design of the building, yet they also significantly alter the synagogue’s overall composition precluding eligibility at this time. When these additions have achieved historic significance in their own right (i.e., within fifty years of their construction), the National Register eligibility of Congregation Sinai Synagogue should be reassessed at that time.

⁵ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 2, Architecture, 2/37.

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From Our Sacred Past... To A Future We Build Together: Congregation Sinai 1955-2005, 50th Anniversary Memoir. Fox Point, WI: Congregation Sinai, 2005.

Historic photographs of Congregation Sinai Synagogue. In possession of Congregation Sinai, 8223 N. Port Washington Road, Village of Fox Point, WI.

*Wisconsin Historic Preservation Database. Maintained by the Wisconsin Historical Society, Division of Historic Preservation. Available online to the public at www.wisconsinhistory.org/ahi.

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		Date:	March 2013

Sub-contracting to:	Caron Kloser, HNTB, Inc.		
Address:	11414 W. Park Place	Phone:	(414) 359-2300
City:	Milwaukee	State:	WI
Email:	CKloser@HNTB.com	Zip:	53224
		Date:	March 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in March 2013

(Note: a perspective photograph showing the relationship of Congregation Sinai Synagogue to I-43 could not be taken due to the proximity of the facility to the interstate)

CONGREGATION SINAI SYNAGOGUE (West & South [primary] Elevations)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to northeast

Photo #1 of 6

CONGREGATION SINAI SYNAGOGUE (South [primary] Elevation)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to northwest

Photo #2 of 6

CONGREGATION SINAI SYNAGOGUE (South [primary] & East Elevations - 2006 addition in foreground)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to northwest

Photo #3 of 6

CONGREGATION SINAI SYNAGOGUE (East & North [rear] Elevations)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to west

Photo #4 of 6

CONGREGATION SINAI SYNAGOGUE (North [rear] Elevation)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to southwest

Photo #5 of 6

CONGREGATION SINAI SYNAGOGUE (Interior - Sanctuary)

8223 N. Port Washington Road

Village of Fox Point, Milwaukee County, WI

View to south

Photo #6 of 6

Photo #1 of 6



Photo #2 of 6



Photo #3 of 6



Photo #4 of 6



Photo #5 of 6



Photo #6 of 6



Historic Photographs:



Congregation Sinai Synagogue, Photograph dated 12 January 1962



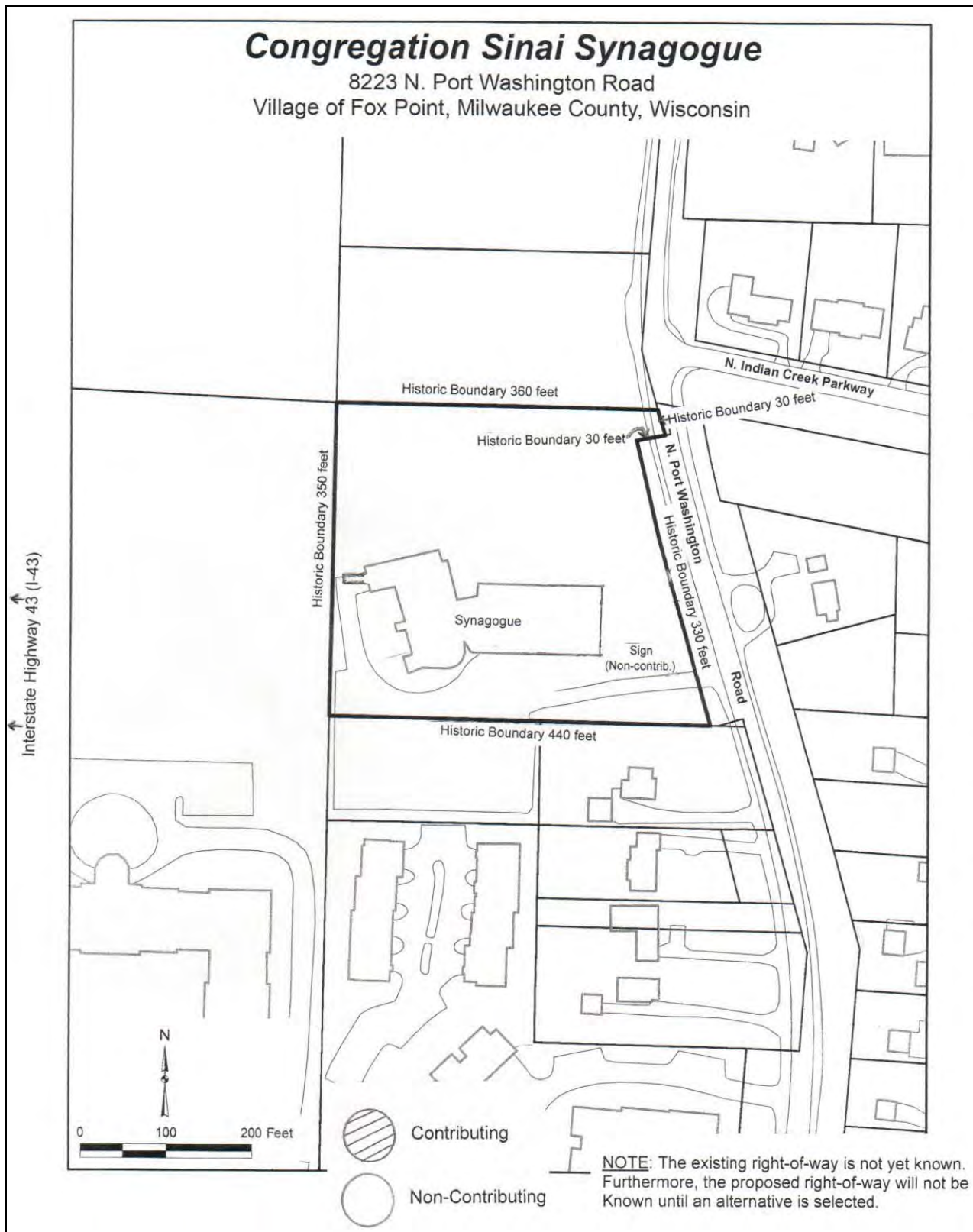
Congregation Sinai Synagogue, Photograph dated 12 January 1962

Historic Photographs:



Congregation Sinai Synagogue, Photograph dated 11 March 1962

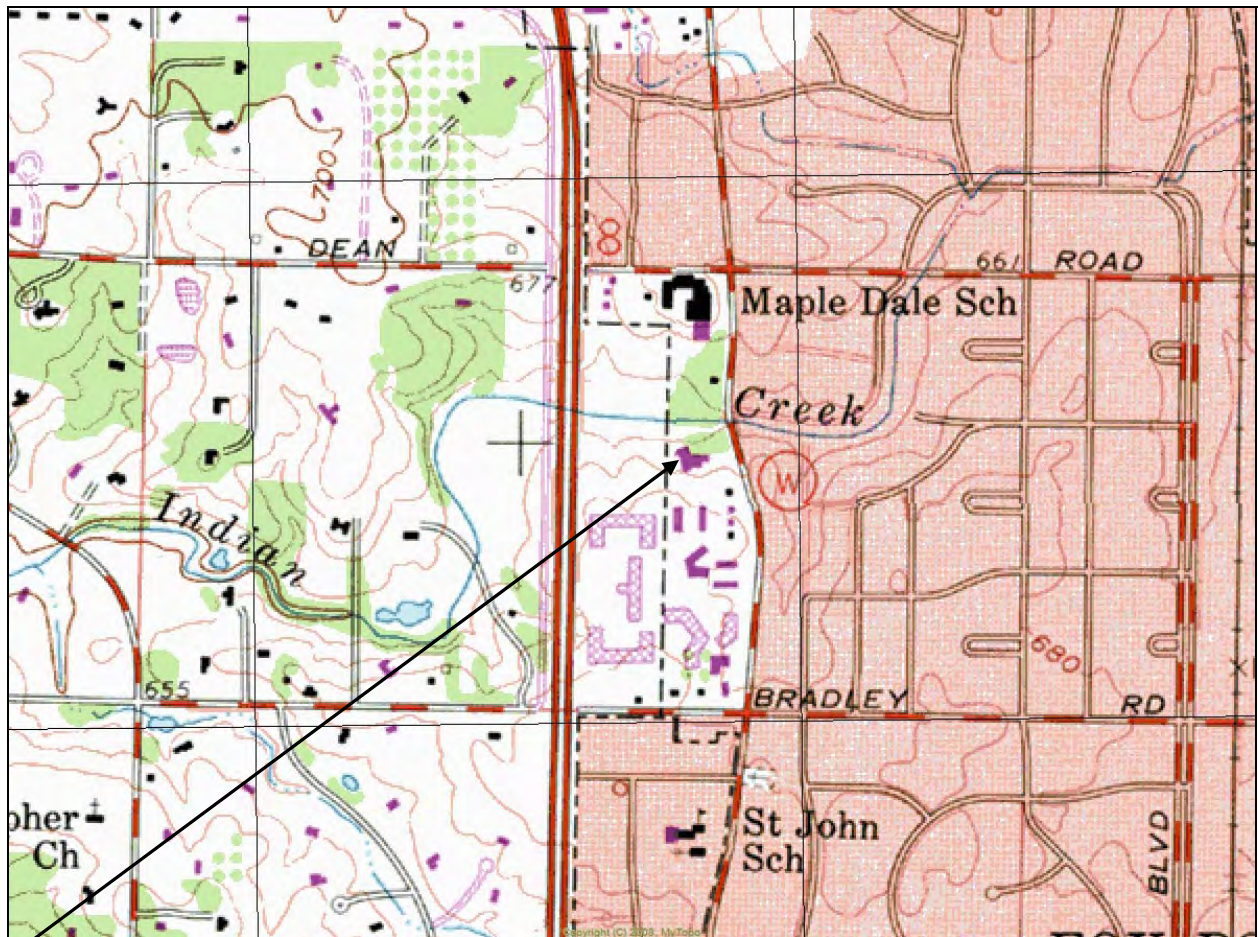




USGS Thiensville

Wisconsin, Milwaukee County

7.5 Minute Series (Topographic)



Congregation Sinai Synagogue

8223 N. Port Washington Road, Village of Fox Point, Milwaukee County, WI

Zone 16

425799 Easting

4779484 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): District #6/Lakefield School

Address/Location: 1206 Lakefield Road

City & County: Town of Grafton, Ozaukee County **Zip Code:** 53024

Town: 10N **Range:** 22E **Section:** 30

Date of Construction: 1907, circa 1940, circa 1971

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	1	
<input type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify:	<input type="checkbox"/> structure	-->		
	<input type="checkbox"/> object	-->		
	<input type="checkbox"/> district	Total:	1	0

Function/Use:

Historic Function(s): EDUCATION: School

Current Function(s): COMMERCE/TRADE: Business

Architectural Style(s): NO STYLE: Front gabled

Criteria:

<input type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1907 – circa 1940¹</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1907, circa 1940, circa 1971</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	<u></u>
	Cultural Affiliation:	<u>N/A</u>
	Architect/Builder:	<u>Unknown</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

¹ The beginning date of the period of significance represents the year the school was constructed, while the end date is the circa year of the renovation that added the bank of windows to the east elevation.

Property Info:

Acreage of Property:	Approximately 1.53 acres		
UTM Reference:	16	424938	4793763
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is a rectangle that measures approximately 167 feet by 400 feet. The long-center axis is parallel to Interstate Highway 43 (I-43).

Boundary Justification:

The east boundary coincides with the drainage ditch that parallels N. Port Washington Road, while the south boundary follows the back-of-curb of Lakefield Road. The west and north boundaries follow the existing property lines; the western boundary also coincides with a wire fence that is partially obscured by vegetation. This boundary follows visually discernible features and provides for an appropriate historical setting for the schoolhouse.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject school was identified as potentially eligible as an intact example of a one-room schoolhouse. Research for this Determination of Eligibility included reviewing available school records at the Ozaukee County Historical Society (the Area Research Center at the University of Wisconsin-Milwaukee also was contacted but did not have school records associated with the subject school). The history of Washington & Ozaukee counties published in 1881 was consulted for information, as were historic plat maps. A site visit was conducted and the current property owner provided information on the history of the property and shared historic photographs of the building. Finally, the Wisconsin Historic Preservation Database (WHPD) was consulted to find comparable schoolhouses within the area. As a result of this research, the District #6/Lakefield School is considered eligible under Criterion C as a good local example of the one-room schoolhouse property type.

Narrative Description:

The District #6/Lakefield School is located at the northwest corner of N. Port Washington and Lakefield roads in the Town of Grafton, Ozaukee County. It is found approximately .34 miles west of Interstate Highway 43 (I-43). A farm, featuring a farmhouse and barns, and agricultural fields are located to the west and north, respectively. Crossing N. Port Washington Road to the east is a one-and-one-half-story residence and the Lakefield Cemetery, while one-story, mid-twentieth-century residences situated on large lots are found to the south/southwest. The subject building sits on a grassy lot containing mature trees. Dirt and gravel parking areas are found in front of and behind this former schoolhouse. The District #6/Lakefield School is the only resource on the property and it is considered eligible for the National Register of Historic Places.

Schoolhouse (Contributing, 1907, circa 1940, circa 1971)²:

Resting on a fieldstone foundation, this one-and-one-half-story, front-gabled, cream-brick schoolhouse features a small bell tower. Topped with a pyramidal roof, the bell tower has a wooden balustrade and wood-shingled base; its bell has been removed.

A centered, front-gabled, entrance wing projects from the primary (south) façade (photos #1 & 2 of 7). Featuring decorative wooden brackets and a round-arched opening, the entrance wing shelters a modern door with glass-block sidelights. On each side of the entrance wing are single window openings containing limestone lintels and sills. Fenestration consists of original, one-over-one, double-hung, wooden sash windows. Directly over the entrance wing is a carved *Dist. No. 6* stone inset. Resting upon this stone inset are three, small, round-arched windows lacking sash. Featuring a continuous, simple, cream brick hood with keystone, the middle window is slightly taller than the other two.

A modern wooden deck is located on the west façade, which features a window opening containing original, one-over-one, double-hung, wooden sash and a transom (photo #1 of 7). Additional window openings have been infilled with brick. A garage built as part of the rear addition in circa 1971 projects from the northern end of this elevation. As well, the side entrance off of the deck was installed at the same time as the garage/rear addition.

The east elevation features a single window opening and a bank of six windows (photo #3 of 7). The bank of windows was added circa 1940. Fenestration is identical to the west façade consisting of one-over-one, double-hung, wooden sash topped with transoms. An infilled window opening is found in between the single window opening and bank of windows. The former feature limestone sills, while the bank of windows rests upon a continuous concrete sill.

A one-story addition with board and batten siding was constructed on the rear (north) elevation circa 1971 (photo #4 of 7). Projecting to the west, the addition includes a garage.

² Michael Minor, Current owner of District #6/Lakefield School, Conversation with Michael T. McQuillen, 4 March 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

Based on an undated, pre-1940s photograph of the schoolhouse included in this document, exterior changes to the building include the installation of a bank of windows on the east elevation; construction of the rear & garage addition; removal of a finial from the top of the bell tower; and the truncation of the chimney. Since it was surveyed in 1987, the only change to the building is the construction of the deck on the west elevation, which replaced a modern set of stairs.³

The interior consists of the original open classroom space featuring maple floors and doorways with transoms (photo #5 of 7). The classroom also contains one of the original chalkboards; the property owner indicates that another two chalkboards are stored on the property. The property owner also states that cabinets on the north and south walls of the classroom may be original to the building; however, he installed the shelving unit on the east wall and the rolling ladder. In the front of the building, a cloakroom and bathroom are found along the east wall, while a kitchen has been installed in the cloakroom along the west wall. When built circa 1971, the addition contained a large sitting room and a shop for antique furniture repair. On the interior, the addition is accessed through a doorway on the north wall of the classroom (while the addition obscures most the north wall on the exterior, the wall is intact on the interior).⁴

³ Undated (pre-1940s) photograph of the District #6/Lakefield School, Property of Mr. Michael Minor (current owner of the property).

⁴ Minor, Conversation with McQuillen, 4 March 2013.

CRM Context Chapters: Education

Statement of Significance:

The District #6/Lakefield School was evaluated for the National Register under Criteria A, B and C. Regarding Criterion A, the school was part of the educational history of the area; however, research did not yield evidence that it played a unique role in the development of the public school system in Ozaukee County in general, or Town of Grafton and associated unincorporated community of Lakefield in particular. Additionally, no information was found to suggest eligibility under Criterion B. In terms of Criterion C, while the school does not represent a particular architectural style, it is an example of the one-room school property type. The Town of Grafton historically featured five school districts and, of the schools that served these districts, only three buildings remain. Compared to the other two extant examples, the subject schoolhouse features a greater degree of integrity retaining its bell tower, entrance wing and carved *Dist. No. 6* stone inset. Furthermore, obtrusive modern additions have been built on the other two schools. While the District #6/Lakefield School also has a modern addition, it is one-story in height and located toward the back of the structure, thereby not dominating the historic building. As well, on the interior, the subject building retains its open classroom space, historic wood floor and a portion of its original chalkboard. Finally, in terms of the infilled historic window openings on the side elevations, while these would typically diminish the integrity of a historic building, on the District #6/Lakefield School they represent the evolving thought on schoolhouse construction, sanitation and lighting of the time. Specifically, the infilling of individual side elevation window openings and installation of the bank of windows on the east elevation occurred as part of a 1940s renovation when the building was still used as a school. Earlier in the century, many public instruction publications warned of the deleterious effects of “cross-lighting” on student eyesight from having windows on both sides of the classroom and, instead, advocated “unilateral” or one-side lighting provided by banks of large windows. It is likely the change to the school’s fenestration pattern occurred in response to these ideas and, as a result, these changes do not diminish the integrity of the building. Therefore, given the relative rarity of this property type within the Town of Grafton, as well as level of integrity it possesses, the District #6/Lakefield School is considered eligible as a good local example of the one-room schoolhouse property type.

Historical Background:

The general history of the Town of Grafton and unincorporated community of Lakefield is found in *Early Ozaukee County Historical Sketches* (1967). Briefly summarized, white settlement of the township began in the late 1830s and the Town of Grafton was formally organized in 1846. By 1850, Grafton featured approximately 400 to 500 residents including fifty-three German families and twenty-seven Irish families. This German influx continued in the subsequent decades and, economically, agricultural pursuits characterized the township. Located around the intersection of Lakefield and Port Washington roads, the unincorporated community of Lakefield featured the subject school, a cemetery, cheese factory, and a Lutheran church by the late nineteenth-century.⁵

An important asset of the township was its rural schools. Wisconsin’s 1848 constitution included provisions for the establishment of a free public school system. The average rural school was a small, frame structure equipped with a woodstove, wash pails and a handful of benches or desks; depending on locale, accoutrements as basic as maps and blackboards could be scarce. The curriculum typically

⁵ *Early Ozaukee County Historical Sketches* (Cedarburg, WI: Ozaukee County Historical Society, 1967), 34-35; C. M. Foote and J. W. Henion, *Plat Book of Washington and Ozaukee Counties, Wisconsin* (Minneapolis, MN: C. M. Foote & Co., 1892).

included spelling, reading, writing, grammar and arithmetic. As the state became more heavily settled, higher standards were imposed. An 1861 law created the office of County Superintendent of Schools, which was responsible for coordinating the activities of county schools. The following year, a standard method of certifying teachers at the county level was adopted. County superintendents also held Teacher Institutes each summer to provide teachers with the opportunity to upgrade their skills.⁶

The number of school districts in Wisconsin peaked in the 1937-38 school year when there were 7,777 separate administrative units in the state. The consolidation movement reversed this trend and the number of districts dropped to 4,905 in 1952-53 and 869 by 1962. Accordingly, the number of one-room schools also declined from 6,181 in 1938 to 3,242 in 1953 and just 156 in 1962.⁷

Resource-Specific History:

Ozaukee County schools as a whole, and the Town of Grafton schools in particular, developed within the above context. In 1928, Ozaukee County contained fifty one-room schoolhouses, while Grafton Township historically featured five school districts. The subject site was used for school purposes beginning in the mid-nineteenth century. In 1907, the District #6/Lakefield School was built replacing an earlier building. A year later, in 1908, the school featured an enrolled of 45 pupils and average attendance of 32 students. "Discipline," "Management," and "Methods of Instruction" in the school were all rated as "good" by the County Superintendent of Schools that year. Many teachers taught in the school during its history with most remaining for a period of two to four years. A minor fire in the 1940s prompted a renovation that included adding interior bathrooms and reconfiguring the fenestration pattern by infilling west elevation window openings, while installing additional windows on the east elevation. The building continued to be used as a school into the 1950s, at which time it was closed. The last one-room school to close in Ozaukee County was the Town of Grafton District #2/Ulao School, which was decommissioned in 1962.⁸

Following its use as a school, the building was ultimately sold to Louis Wesela in 1960. He intended to raze it in order to build a gas station on the site; however, when Interstate Highway 43 was proposed lacking an interchange at Lakefield Road, Wesela abandoned his plans. The property was then purchased by Kav and Evelyn Brown in 1971 for use as an antique shop. The Browns built the rear addition and garage, as well as added the entrance on the west elevation and kitchen in the west cloakroom. Since 1980, the building has been owned by Michael and Jane Minor who currently lease it to the Chiselled Grape Winery for use as their wine shop.⁹

Research did not reveal any educational activities that were unique or particularly innovative occurring at the subject school and, as a result, the District #6/Lakefield School is not considered to be eligible under Criterion A: History.

⁶ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison, WI: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 3: Education, 1/1, 2/1-3.

⁷ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 3: Education, 2/9.

⁸ G. V. Nash, M. G. Tucker, and E. M. Harney, *Map of Washington and Ozaukee Counties, Wisconsin: 1873-4* ([Wisconsin]: G. V. Nash & M. G. Tucker, 1874); *Ownership Plat Book of Ozaukee County, Wisconsin* (Milwaukee: Marathon Map Service, 1948); Ozaukee County Schools Binder, Compiled by the Ozaukee Retired Teachers Association, In possession of the Ozaukee County Historical Society, N57 W6406 Center Street, Cedarburg, WI; Minor, Conversation with McQuillen, 4 March 2013; 1908 Ozaukee County School Superintendent Report, In possession of the Ozaukee County Historical Society, N57 W6406 Center Street, Cedarburg, WI.

⁹ Minor, Conversation with McQuillen, 4 March 2013.

Architecture:

The District #6/Lakefield School does not represent a particular architectural style; however, it is an example of a one-room schoolhouse – a distinct architectural type. One-room schools are a distinctive building type that, similar to churches and meeting halls, are easily identifiable by their form and massing. According to Andrew Gulliford's *America's Country Schools*, these rural buildings largely reflected building materials and techniques common throughout their respective surroundings. Although few one-room schools were architect-designed, many school districts relied upon planbooks for guidance in designing their structures, which accounts for a rural school's distinct appearance. Many schools reflected the Greek Revival style because some believed that the form fostered a superior "intellectual and moral culture" for learning. While frugal school districts often only provided for limited architectural ornamentation, they educationally justified expenses for such features as high ceilings (for proper circulation) and numerous and regularly placed windows (for adequate natural light).¹⁰

The typical rural schoolhouse consisted of one room and was rectangular in shape. Oftentimes, only one entrance served the facility; however, a number of schools featured separate boys and girls entrances on the primary façade. The building, on average, had a capacity for thirty students. While many rural schoolhouses boasted a bell tower, it was frequently not an original feature of the building. In many cases, a school would add a bell tower only when funds later became available. Schools were built from a range of materials to include wood, brick and stone. It was not uncommon for the original wood-frame school to be replaced by a more substantial brick or stone example. Regularly spaced windows frequently appeared on both long sides of the building, although some favored placing windows on only one side of the building believing that light from two directions would harm students' eyes.¹¹

Further discussion of schoolhouse window placement is warranted given that the District #6/Lakefield School originally featured window openings for the classroom area on both its west and east elevations until the 1940s renovation, at which time additional openings were added to the east elevation and those on the west were infilled (see attached historic photographs of the District #6/Lakefield School). In the early twentieth century, governmental bodies that oversaw public instruction in a number of states issued publications devoted to improving schoolhouse conditions addressing such topics as their construction, interior layout, sanitation and grounds. Indeed, the states of Iowa, Kansas, Minnesota and Pennsylvania all published bulletins in the years spanning 1911 to 1917 and each discussed the placement of windows, especially in regard to the effect this would have on the eyesight of school children. While they universally condemned south elevation window placement due to constant exposure to direct sunlight, many also warned of the deleterious effects of "cross-lighting" from having windows on both sides of the classroom resulting in pupils looking at a glare of light on the blackboard. Instead, they advocated "unilateral" or one-side lighting, specifically calling for banks of large windows (ideally, representing one-fourth the classroom floor area in size) set as close to the ceiling as possible. In choosing between the east and west elevations of the building, window placement on the east elevation was considered preferable as it allowed sunlight to warm the classroom at the beginning of the school day, as well as provide a sanitary effect thanks to its disinfectant qualities. It is interesting that the existing window configuration on the District #6/Lakefield School embodies many of these principles. It is possible that they were not as well known when the school was originally constructed in 1907; however, when the financial investment was made in the school in the 1940s, they were universally known and adopted at that time. Indeed, Ozaukee County School Superintendent reports from the late-1930s indicate that the three most important

¹⁰ Andrew Gulliford, *America's Country Schools* (Washington, DC: The Preservation Press, 1984), 164, 167-68, 170.

¹¹ Gulliford, *America's Country Schools*, 168, 172, 174.

improvements needed for rural schools are better lighting, a basement for better heating & ventilation, and indoor lavatories.¹²

The Wisconsin Historic Preservation Database (WHPD) identifies eleven one-to-six-room schools in Ozaukee County. Of these, the subject schoolhouse is the only previously surveyed example in the Town of Grafton. Indeed, of the Town of Grafton's five historic school districts, only three school buildings remain. In addition to the subject example, the District #2/Ulao School (Comparison Property #1, 1195 Highway C, Town of Grafton, Photo #6 of 7) and District #8/Sunny Brook School (Comparison Property #2, Pleasant Valley Road, Town of Cedarburg, Photo #7 of 7) remain extant.¹³ The District #6/Lakefield School compares favorably with and possesses a greater degree of integrity than either of these two examples. While all three schools feature modern additions, the addition on the subject school is found on the rear elevation and toward the back of a side elevation. In contrast, the District #2/Ulao School was converted to a day care center and exhibits a larger addition, which obscures the side elevation entirely. This building also has modern fenestration and a modern primary elevation porch. The District #8/Sunny Brook School has been converted to a residence featuring two additions, one of which is found on the primary elevation. *Cultural Resource Management in Wisconsin* cites that many one-room schools do include additions and such a fact does not render them automatically ineligible for the National Register; however, it further notes that, ideally, additions should be at the rear of the building (or recessed on one side), should be one-story in height and not dominate the historic building. This description characterizes the addition on the District #6/Lakefield School. Furthermore, while infilling historic window openings is generally considered to negatively affect a building's integrity, these alterations on the subject schoolhouse occurred during its period of use as a school in response to widespread advocacy on improving schoolhouse conditions; specifically, the benefit of unilateral lighting in the classroom, which put less strain on the eyesight of students. Finally, the District #6/Lakefield School retains its bell tower, entrance wing and carved *Dist. No. 6* stone inset. As well, on the interior, it continues to feature its open classroom space, historic wood floor and a portion of its original chalkboard. Based on this information, the District #6/Lakefield School is considered eligible for the National Register as a largely intact and good local example of a historic schoolhouse.¹⁴

¹² S. A. Challman, *The Rural School Plant* (Milwaukee, WI: The Bruce Publishing Company), 61, 65, 67, 78-79, 92-93, 96, 136; Ozaukee County School Superintendent Reports. *The Rural School Plant* also states that windows should be placed to the left of the pupils as they are seated, which would prevent the shadow of the hand from falling on schoolwork when writing. Although left-handed children and the right-handed teacher would be at a disadvantage, "on the principle of the greatest good to the greatest number this arrangement can be successfully defended." [Challman, *The Rural School Plant*, 66].

¹³ District #8/Sunny Brook School served both Town of Grafton and Town of Cedarburg students and is located in the Town of Cedarburg.

¹⁴ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 3: Education, 2/12.

Bibliography: An asterisk (*) denotes sources consulted but not cited.

**Atlas of Ozaukee County, Wisconsin*. Sheboygan, Wis.: J. Donohue Engineering Co., 1921.

Challman, S. A. *The Rural School Plant*. Milwaukee, WI: The Bruce Publishing Company, 1917.

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Foote, C. M., and J. W. Henion. *Plat Book of Washington and Ozaukee Counties, Wisconsin*. Minneapolis, MN: C. M. Foote & Co., 1892.

Gulliford, Andrew. *America's Country Schools*. Washington, DC: The Preservation Press, 1984.

**History of Washington and Ozaukee Counties, Wisconsin: Containing an Account of Its Settlement, Growth, Development and Resources...* Chicago: Western Historical Co., 1881.

**Map of Ozaukee County, Wisconsin*. Delavan, WI: Hennessey & Co., 1913.

Minor, Michael. Current owner of District #6/Lakefield School. Conversation with Michael T. McQuillen, 4 March 2013. Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

Nash, G. V., M. G. Tucker, and E. M. Harney. *Map of Washington and Ozaukee Counties, Wisconsin: 1873-4*. [Wisconsin]: G. V. Nash & M. G. Tucker, 1874.

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Ozaukee County School Superintendent Reports. In possession of the Ozaukee County Historical Society, N57 W6406 Center Street, Cedarburg, WI.

Ozaukee County Schools Binder. Compiled by the Ozaukee Retired Teachers Association. In possession of the Ozaukee County Historical Society, N57 W6406 Center Street, Cedarburg, WI.

**Plat Book of Ozaukee County, Wisconsin*, 1939 (Copyright 1998 Ozaukee County Historical Society).

*Wisconsin Historic Preservation Database. Maintained by the Wisconsin Historical Society, Division of Historic Preservation. Available online to the public at www.wisconsinhistory.org/ahi.

Wyatt, Barbara, ed. *Cultural Resource Management in Wisconsin*. 3 vols. Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986.

Determination of Eligibility Prepared By:

Name & Company:	Michael T. McQuillen, Heritage Research, Ltd.		
Address:	N89 W16785 Appleton Avenue	Phone:	(262) 251-7792
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		Date:	March 2013

Sub-contracting to:	Caron Kloser, HNTB, Inc.		
Address:	11414 W. Park Place	Phone:	(414) 359-2300
City:	Milwaukee	State:	WI
Email:	CKloser@HNTB.com	Zip:	53224
		Date:	March 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in March 2013

(Note: a perspective photograph showing the relationship of the District #6/Lakefield School to I-43 could not be taken due to the proximity of the facility to the interstate)

DISTRICT #6/LAKEFIELD SCHOOL (South [primary] & west elevations)

1206 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #1 of 7

DISTRICT #6/LAKEFIELD SCHOOL (South [primary] elevation)

1206 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to north

Photo #2 of 7

DISTRICT #6/LAKEFIELD SCHOOL (East elevation)

1206 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #3 of 7

DISTRICT #6/LAKEFIELD SCHOOL (North [rear] elevation)

1206 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #4 of 7

DISTRICT #6/LAKEFIELD SCHOOL (Interior schoolroom)

1206 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #5 of 7

COMPARISON PROPERTY #1 (District #2/Ulao School)

1195 Highway C

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #6 of 7

COMPARISON PROPERTY #2 (District #8/Sunny Brook School)

Pleasant Valley Road west of Maple Road

Town of Cedarburg, Ozaukee County, WI

View to northeast

Photo #7 of 7

Photo #1 of 7



Photo #2 of 7

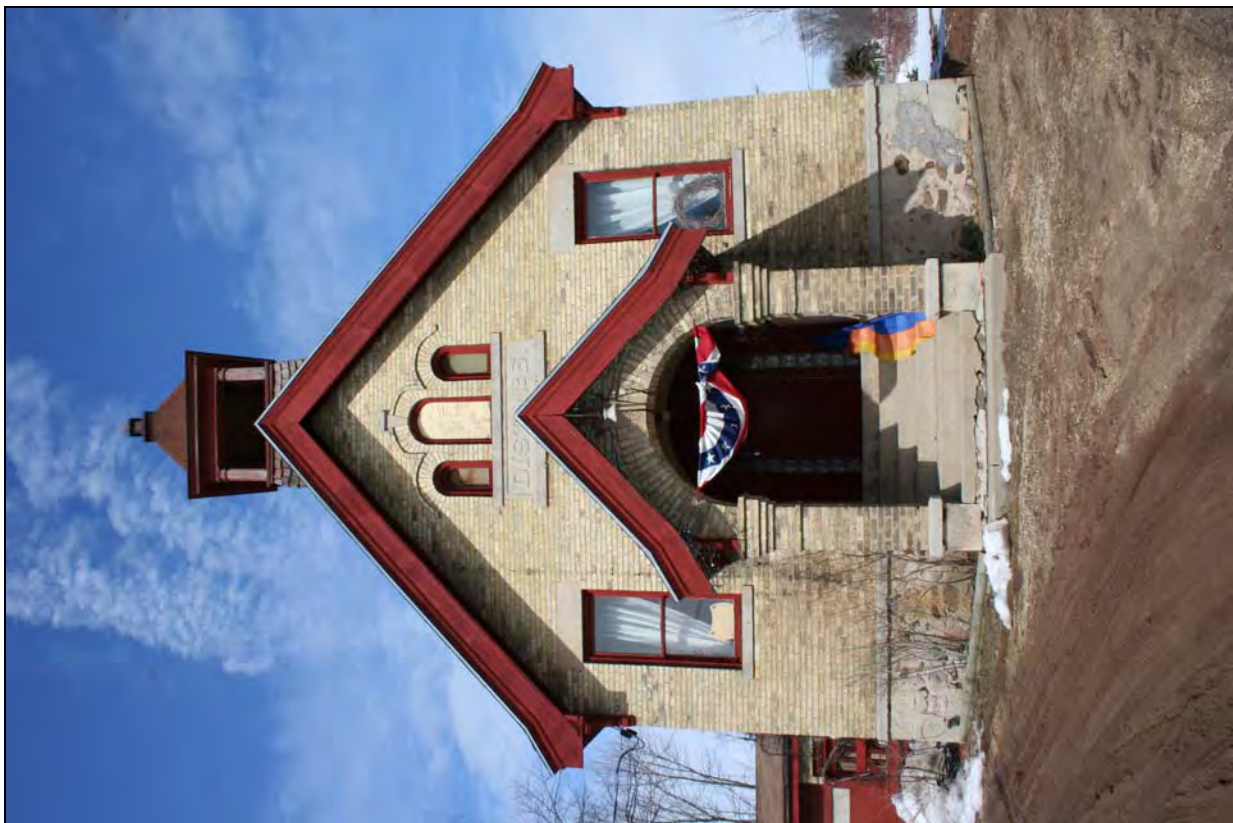


Photo #3 of 7



Photo #4 of 7



Photo #5 of 7



Photo #6 of 7



Photo #7 of 7



Historic Photograph of the District #6/Lakefield School:

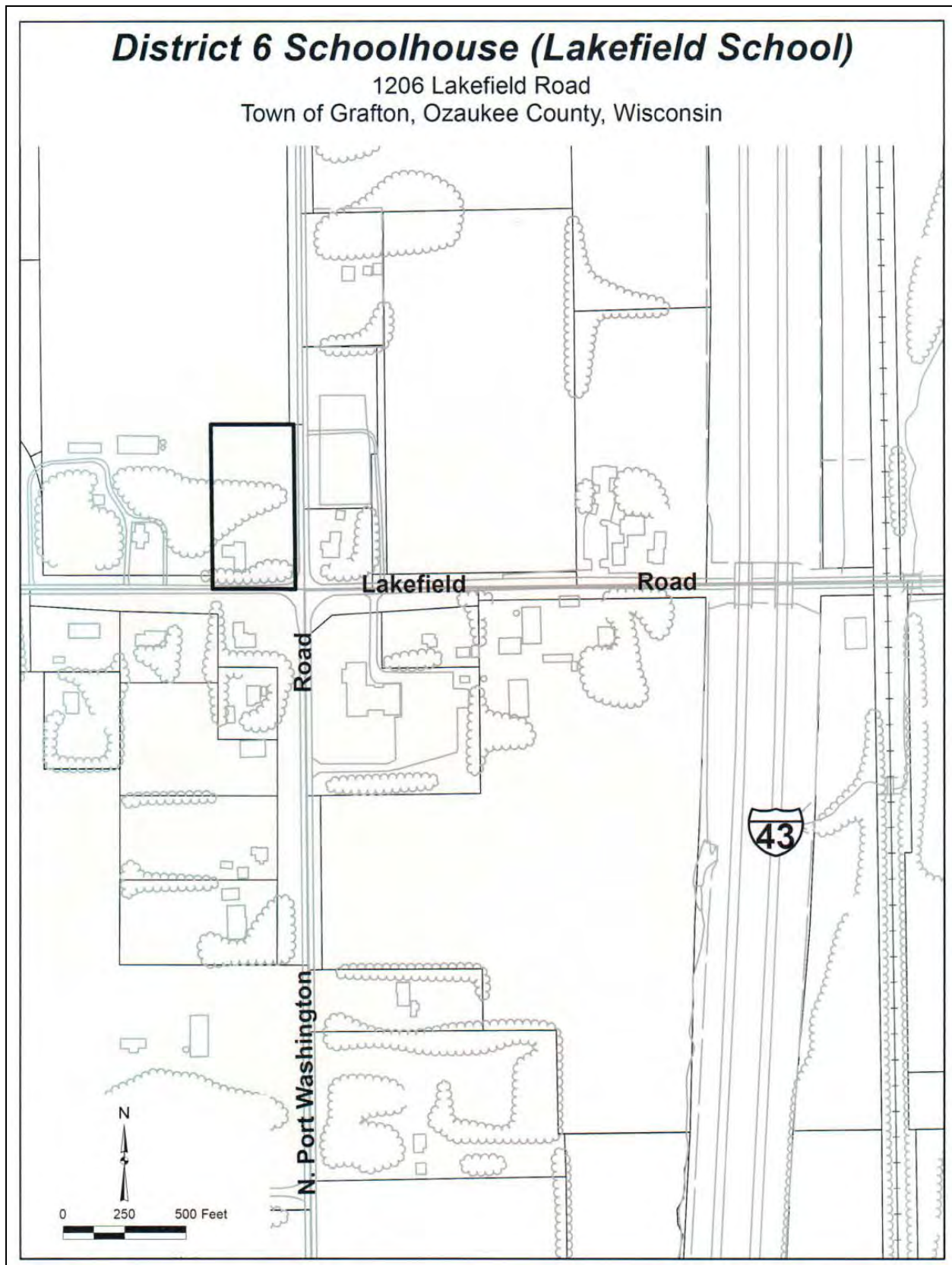


Undated (pre-1940s) photo. Photograph property of Mr. Michael Minor, current owner of the District #6/Lakefield School.

Historic Photograph of the District #6/Lakefield School:

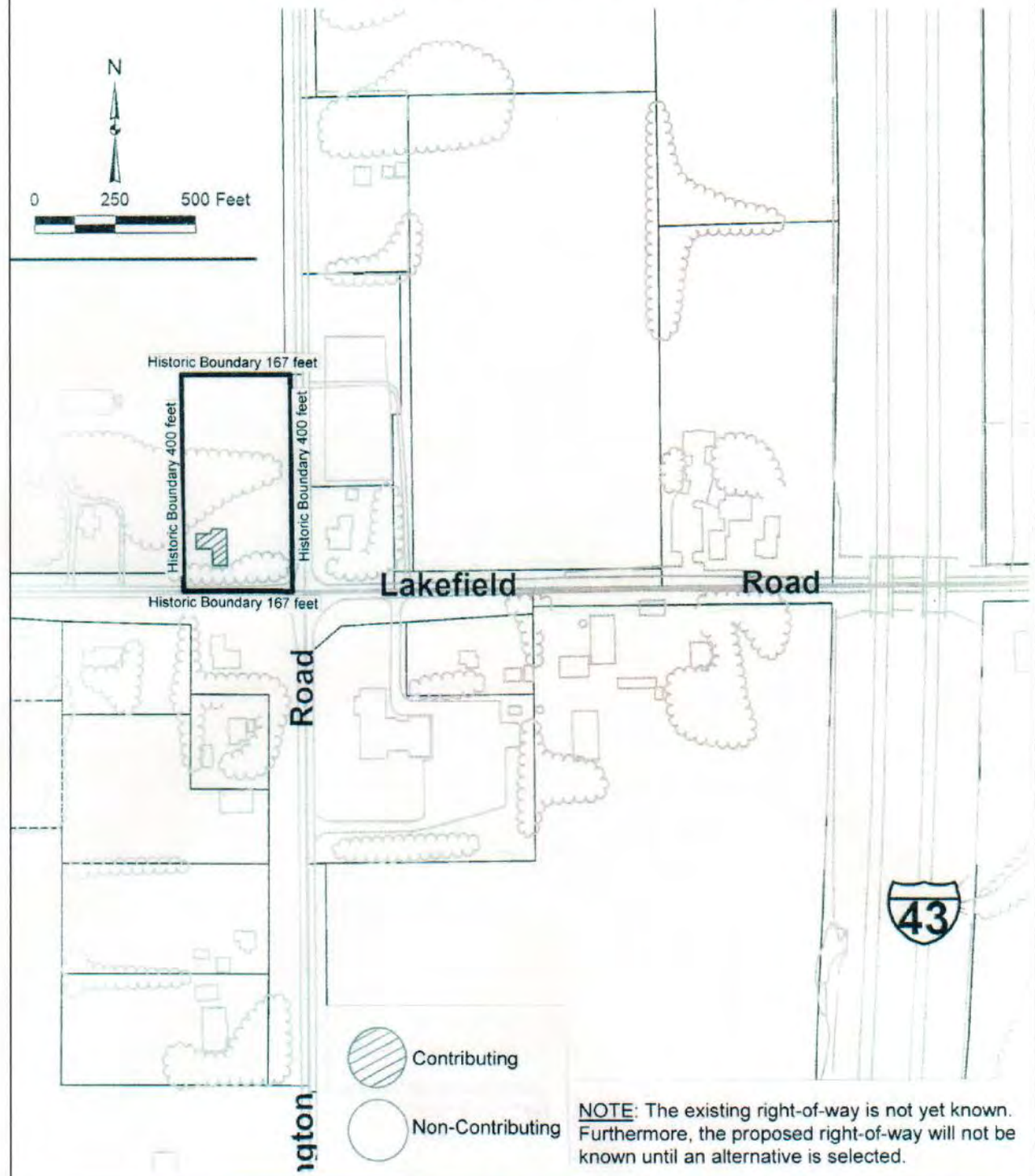


Undated photo. Schoolhouse seen in the distance, left-center of photograph. Photograph property of Mr. Michael Minor.



District 6 Schoolhouse (Lakefield School)

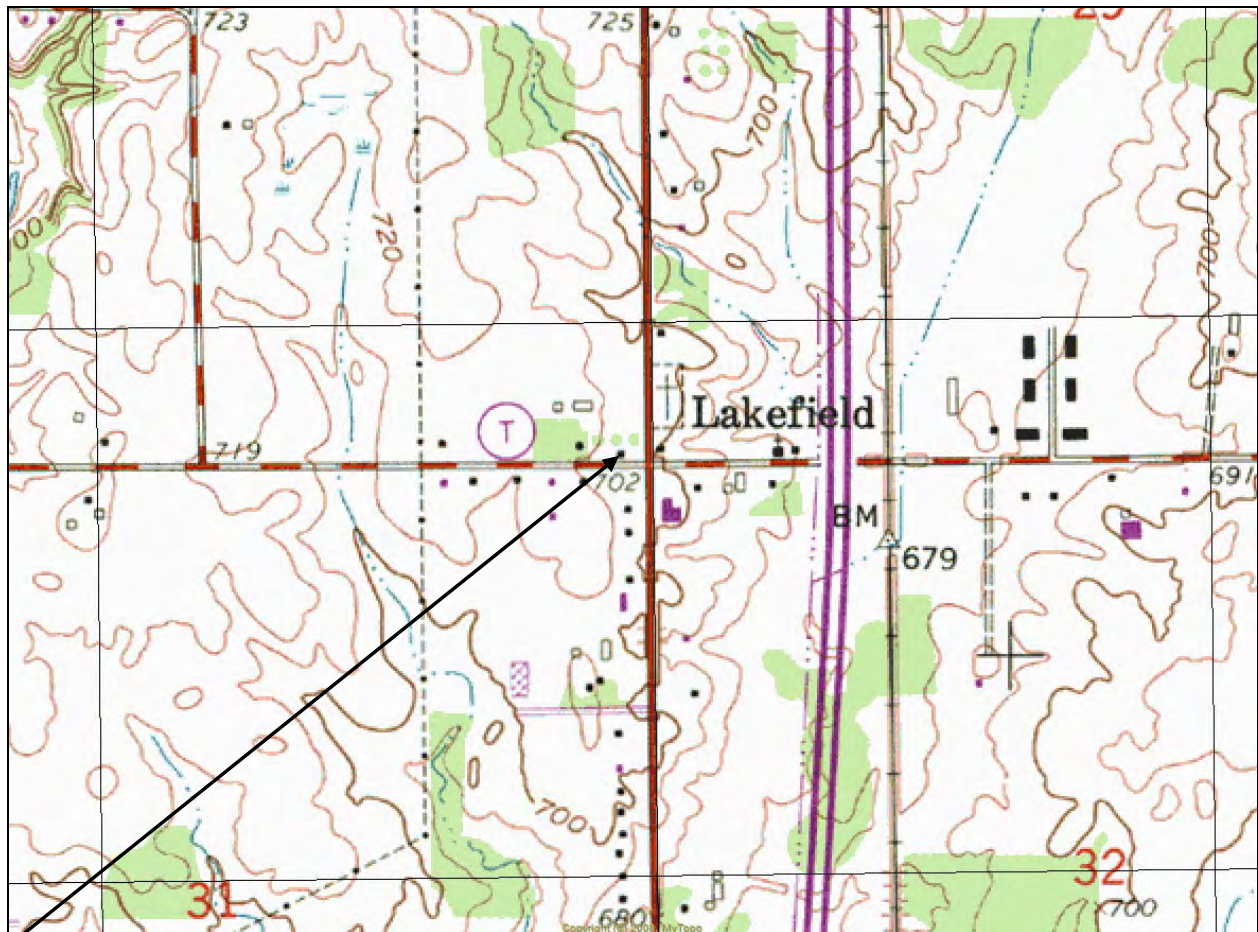
1206 Lakefield Road
Town of Grafton, Ozaukee County, Wisconsin



USGS Cedarburg

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



District #6/Lakefield School

1206 Lakefield Road, Town of Grafton, Ozaukee County, WI

Zone 16 424938 Easting 4793763 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Henry & Mary Hennings House

Address/Location: 754 N. Port Washington Road

City & County: Town of Grafton, Ozaukee County **Zip Code:** 53024

Town: 10N **Range:** 22E **Section:** 29

Date of Construction: 1884, circa 2000

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	5	1
<input type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify:	<input type="checkbox"/> structure	-->	2	1
	<input type="checkbox"/> object	-->		
	<input type="checkbox"/> district	Total:	7	2

Function/Use:

Historic Function(s): DOMESTIC: Single dwelling; AGRICULTURE/SUBSISTENCE: Agricultural Outbuilding

Current Function(s): DOMESTIC: Single dwelling

Architectural Style(s): NO STYLE (Quarried-Stone Gabled Ell)

Criteria:

<input type="checkbox"/> A (history)	Areas of Significance:	Architecture
<input type="checkbox"/> B (important persons)	Period of Significance:	1884
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	1884, circa 1920, circa 1960, circa 2000
<input type="checkbox"/> D (archaeology)	Significant Person:	
	Cultural Affiliation:	N/A
	Architect/Builder:	Unknown

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:

Approximately 6.61 acres

UTM Reference:

16

425185

4794797

Zone

Easting

Northing

Verbal Boundary Description:

The historic boundary of the property is a rectangle that measures approximately 450 feet by 640 feet. The long-center axis is perpendicular to Interstate Highway 43 (I-43).

Boundary Justification:

The west and south boundaries coincide with the edge of cultivated fields and treelines. The north boundary also falls along the treeline. The east boundary follows the current property line, which similarly coincides with a wire fence located along the treeline. This boundary follows visually discernible features and provides for an appropriate historical setting for the house and associated agricultural buildings.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject house was identified as potentially eligible for architectural significance as an intact example of a stone-constructed gabled ell. Research for this Determination of Eligibility included reviewing available records at the Ozaukee County Historical Society and researching historic tax roll information for the property at the Ozaukee County Courthouse. The history of Washington & Ozaukee counties published in 1881 was consulted for information, as were historic plat maps and federal census records. A site visit was conducted and the current property owner provided information on the recent history of the property. Finally, the Wisconsin Historic Preservation Database (WHPD) was consulted to find comparable examples of stone construction within the area. As a result of this research, the Henry & Mary Hennings House is considered eligible under Criterion C as a very good and intact example of stone construction.

Narrative Description:

The Henry & Mary Hennings House is located on the east side of N. Port Washington Road between Lakefield Road and Falls Road in the Town of Grafton, Ozaukee County. Agricultural fields surround the property on the west and south, while a large stand of trees is located to the north. Interstate Highway 43 (I-43) borders the property on the east. The house is sited approximately 370 feet from I-43. The property consists of the subject house, chicken coop, machine shed, small barn, shed, two silos, and corn crib, all of which are considered to be contributing (although the property is not eligible as a farmstead, the remaining historic agricultural buildings are contributing since they provide the context and setting for the construction of the house as part of a farmstead). The foundation remains of the main barn and milk house (these buildings are no longer extant) and a modern, metal-sided machine shed are non-contributing elements.

House (Contributing, 1884, circa 2000)¹:

Resting on a fieldstone foundation, this gabled ell consists of a two-and-one-half-story main block with a one-and-one-half-story ell. The house features coursed, quarried stone with liberally applied mortar on its side and rear elevations, while the primary (west) façade exhibits dressed, cut stone with thin mortar joints (photos #1 & 2 of 15). The building also exhibits stone quoining, as well as stone window hoods and sills featuring a tooled finish (photo #5 of 15). Each of its gables is outlined by a wooden frieze with applied decorative elements at their ends. Primary façade, one-story porches shelter the left-of-center entrance on the main block and an additional entrance on the ell. Topped with wooden-shingled, truncated, hipped roofs, each porch is composed of identical features; namely, chamfered posts, brackets and a wooden frieze with decorative cutouts. A stone water table is found on the main block, as is a distinctive datestone. Located in the center of the elevation, the datestone is inscribed, *J.H. Hennings 1884* and features star and holly leaf decorative carvings (photo #5 of 15). Fenestration consists of one-over-one, double-hung, wooden sash windows.

Projecting from the north elevation, a small, arch-roofed wing accesses the basement (photo #3 of 15). A basement-level window opening containing glass block is located north of this wing. This elevation also features three window openings on the first floor and one window opening within the gable.

A modern, one-story, wood-frame, garage addition has been constructed on the rear (east) elevation of the ell (photo #3 of 15). An entrance to the basement consisting of a small, gabled wing is located on the rear elevation of the main block (photo #4 of 15). This elevation also features additional basement-level openings on each side of the wing, as well as two window openings on each floor and within the gable.

The south elevation features three window openings on each floor, as well as two, segmental-arched, basement windows (photo #4 of 15).

Alterations consist of the circa 2000 garage built on the rear elevation (on the interior, the garage is accessed through a doorway off the kitchen located in the ell). As well, the primary façade porches were

¹ Datestone located in the center of the primary façade. Tax roll records were reviewed to see if valuation increases might reflect building construction on the property; however, they were inconclusive. Tax roll valuation information for the property from 1874 to 1950 is included on page 13 in this report.

constructed by the current property owner who bought the house approximately four years ago. He indicated that these porches were designed to match the original porches seen in a historic photograph of the home (see the historic photograph of the Henry & Mary Hennings House included in this report).²

On the interior, the residence's first floor consists of an entry hallway inside the main block entrance. The main block features three rooms, while a modern kitchen and bathroom are located within the ell. Three bedrooms are found on the second floor. Wooden floors are found throughout the house, which retains its original, decoratively sawn newel post and stair railing (photo #6 of 15). Wood molding and wood-paneled doors with original hardware are also extant. Window openings feature interior built-in, folding wooden shutters. Two-light transoms over the bedroom doors are hinged and operable. Like the exterior, the interior possesses a high degree of integrity and alterations appear to be limited to the modern kitchen and bathroom.

Chicken Coop (Contributing, circa 1920):

Sited to the north of the house and topped with a shed roof, the chicken coop is sheathed with both vertical board and drop siding (photos #7 & 8 of 15). Fenestration consists of four-over-four and six-over-six, double-hung, wooden sash windows.

Machine Shed #1 (Contributing, circa 1920):

This gabled machine shed features vertical board siding (photo #9 of 15).

Small Barn (Contributing, circa 1920):

Sited to the east of the other agricultural outbuildings, this gabled, small barn is sheathed with vertical board siding (photo #10 of 15).

Shed (Contributing, circa 1920):

This shed has a gabled, wooden-shingle roof (photo #11 of 15). The building is sited behind the house and features vertical board siding.

Foundations (Non-Contributing, circa 1920):

Remains of the primary barn and milk house consist of portions of their fieldstone [barn] and concrete block [milk house] foundations (photo #7 of 15).³

² Jim Pape, Current owner of the Henry & Mary Hennings House, Conversation with Michael T. McQuillen, 7 March 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

³ The barn and milk house are evident on available online aerial images suggesting they were recently lost (notably, Bing Maps aerial images show the barn and milk house, while Google Maps aerial images do not).

Silos (Contributing, circa 1960):

Two concrete stave silos are found by the barn foundation remains (photo #7 of 15).

Corn Crib (Contributing, circa 1960):

A metal corn crib is sited east of the chicken coop (photo #7 of 15).

Machine Shed #2 (Non-Contributing, modern):

This modern building features standing-seam metal siding (photo #8 of 15).

A 1937 aerial photograph shows a number of agricultural buildings on the property that are no longer extant. Notably, buildings were formerly located by the southwest corner of the barn foundation and directly east of the chicken coop. As well, a smaller building was found on the existing location of the modern machine shed.⁴

⁴ Wisconsin Historic Aerial Imagery Collection, Maintained by the University of Wisconsin-Madison Geography Library, Available online at <http://maps.sco.wisc.edu/WHAIFinder/>, Accessed June 2013.

CRM Context Chapters:	Architecture
	Agriculture

Statement of Significance:

The Henry & Mary Hennings House was evaluated for the National Register under Criteria A, B and C. Considering both Henry Hennings and his wife Mary were first-generation citizens of the United States and that they established their farmstead on the subject property decades following the initial settlement of the area, no evidence was found to substantiate eligibility under Criterion A. As well, research did not reveal information to support eligibility under Criterion B. In terms of Criterion C, the former farmstead continues to possess some of its historic-period agricultural buildings, yet the primary barn, milk house and other outbuildings are no longer extant, which precludes potential eligibility as a good example of the farmstead property type. However, the Henry & Mary Hennings House is a distinctive example of stone construction -- specifically quarried stone construction. Quarried stone and fieldstone construction was often employed by Wisconsin's German immigrant population, which was the ancestral heritage of both Henry and Mary. The most popular period of stone construction in the state spanned the mid-to-late-nineteenth century and, in Southeastern Wisconsin, the nearby Cedarburg area was a good source of quality dressed stone. Built in 1884, the subject house features coursed, quarried stone with liberally applied mortar on its side and rear elevations, while the primary façade exhibits dressed, cut stone with thin mortar joints. Additional notable characteristics of its construction include window hoods and sills featuring a tooled finish, the use of quarried stone quoins, and its inscribed datestone. Based on this information, as well as comparing the house to similarly constructed examples in the surrounding area, the Henry & Mary Hennings House is considered eligible under Criterion C as a very good and intact example of stone construction.

Historical Background:

The general history and agricultural character of Ozaukee County and Grafton Township is discussed in the *History of Washington and Ozaukee Counties, Wisconsin* (1881). Briefly summarized, the area now known as Ozaukee County was originally part of Washington County, which was established by the Wisconsin Territorial Legislature on 7 December 1836. Ozaukee County was separated from Washington County in 1853 and includes Grafton Township, which was established on 26 January 1846.⁵

By 1860, approximately twenty years after the first settlements, farmland accounted for more than half the total acreage of Ozaukee County. Wheat remained the principal cash crop until later in the nineteenth century, when the influx of wheat produced in the states west of the Mississippi River began to depress the market for Wisconsin wheat. Corn and oats continued to be grown in Ozaukee County through the 1940s, with corn production rising steadily after 1860 and oat production plateauing around 1900. Barley production fluctuated in response to the regional brewing industry's demand, spiking in 1910 and dropping throughout the Prohibition era. A rise in flax production during World War II subsided quickly only to surge in 1947 as a result of government price supports. Never a large crop in Wisconsin, flax

⁵ *History of Washington and Ozaukee Counties, Wisconsin: Containing an Account of Its Settlement, Growth, Development and Resources* (Chicago: Western Historical Co., 1881), 309, 526.

production was largely confined to Ozaukee County and the southern portion of neighboring Sheboygan County. The rise of the dairy industry in Ozaukee County in the later nineteenth century reflected statewide agricultural trends. By 1909, the Town of Grafton featured two creameries and a cheese factory. In 1944, approximately ninety percent of the land in Ozaukee County was used for agriculture with dairy farming accounting for two-thirds of its farms. Agricultural production in the county decreased in the latter part of the twentieth century in response to growth in neighboring Milwaukee County and the construction of Interstate Highway 43, which has spurred both commercial and residential development.⁶

In terms of settlement, the first arrivals to the area were generally Americans, largely from New York and Ohio. Early immigrants featured those of English, Irish and German nationalities, including a colony of German Lutherans – known as the Freidstadt Colony – who settled in the western portion of Mequon Township in 1839. Shortly thereafter, the German influx into Ozaukee County increased and, as early as 1850, they were the largest immigrant group in the area. This mirrored a statewide trend where, by 1860, Wisconsin's 123,879 Germans were its largest foreign-born nationality with their heaviest concentration of settlement found in the eastern portion of the state south of Green Bay. By 1880, the population of Ozaukee County was 16,455; of which, Germans and Luxembourgers comprised seven-eighths, while the remaining population consisted of Americans, Norwegians and Irish.⁷

Resource-Specific History:

Born 19 July 1849 in Wisconsin, Henry Hennings⁸ was the son of parents who were natives of Altenburg, Germany. His mother and father had Henry within two years of their arrival to the United States and the farm where he grew up is also located in the Town of Grafton (AHI #222312, Johann Friederich & Catherine Hennings Farmstead, 1143 Lakefield Road). Like her husband, Mary (nee Mareanne Christine Viesselmann) was a first-generation American of German heritage; her parents were natives of Hannover.⁹

The couple had seven children, five of whom survived to adulthood: Louis, Armond, William, George, and Louisa. They built the subject house in 1884, ten years after purchasing the 156-acre property in 1874. The property was classified as a 'general farm' in federal census records. Henry appears to have been a successful farmer owning his farm free of mortgage and able to hire servants and/or laborers who were intermittently listed amongst the household. Following his death in 1927, the property is identified with his

⁶ *A Century of Wisconsin Agriculture, 1848-1948* (Madison: Wisconsin Department of Agriculture, 1948), 15, 31-33, 35, 50, 74; *History of Washington and Ozaukee Counties, Wisconsin*, 529; *Biennial Report of the Dairy and Food Commissioner of Wisconsin for the Two Years Ending June 30, 1908* (Madison: Dairy and Food Commissioner, 1909), 206.

⁷ *History of Washington and Ozaukee Counties, Wisconsin*, 324, 473, 474; Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 Vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 1, Settlement, 2-2, 2-4, 2-8.

⁸ Although public records universally refer to him as "Henry" Hennings, his given name was Johann Heinrich Hennings.

⁹ United States Department of Commerce, Bureau of Census, *Tenth Federal Census of the United States, 1880, Population* (Washington, D.C.: Government Printing Office), Copy Accessed online at www.ancestry.com on 27 February 2013; George Henry Hennings birth record, *Wisconsin, Births and Christening Index, 1826-1908*, Copy Accessed online at www.ancestry.com on 27 February 2013.

son William into the mid-twentieth century. The current owners purchased the property four years ago.¹⁰

Farmstead:

The primary barn and milk house are no longer extant. All that remains of these buildings are portions of their foundations. Additionally, a 1937 aerial photograph shows other agricultural buildings on the property that are no longer extant. Notably, buildings were formerly located by the southwest corner of the existing barn foundation and directly east of the chicken coop. As well, a smaller building was found on the existing location of the modern machine shed. As a result, eligibility could not be established as a good example of the farmstead property type.¹¹

Architecture:

The most popular period of stone construction in the state spanned the mid-to-late-nineteenth century. Although quarried stone and fieldstone are visually distinct, both methods of construction share similar characteristics. Notably, the common occurrence of stone combined with the building traditions of Wisconsin's early settlers led many European immigrant groups to utilize stone in the construction of their residences, barns, churches, and commercial buildings. Specifically, German and Irish immigrants frequently built utilizing fieldstone. The highest concentration of fieldstone structures in Wisconsin is found in the southeastern portion of the state, where German and Irish settlement was prominent. As well, German immigrants also employed quarried stone construction early in their settlement history as seen with the David's Star Evangelical Lutheran Kirche in Jackson Township, Washington County (AHL #14058, built 1856). In Southeastern Wisconsin, the nearby Cedarburg area was a good source of quarried and quality dressed stone. Additionally, the *History of Washington and Ozaukee Counties, Wisconsin* (1881) notes that quarries were operating in several places in Ozaukee County, specifically mentioning large quarries near Saukville and Port Washington.¹²

The Henry & Mary Hennings House is a very good and intact example of stone construction. It features coursed, quarried stone with liberally applied mortar on its side and rear elevations, while the primary façade exhibits dressed, cut stone with thin mortar joints. Additional notable elements of its construction include stone window hoods and sills featuring a tooled finish, as well as quoining and a primary façade water table. This elevation also has a distinctive datestone inscribed, *J.H. Hennings 1884* featuring star and holly leaf decorative carvings. Other architectural elements include a wooden frieze with applied

¹⁰ USDC.BC, *Twelfth Federal Census of the United States, 1900, Population*, Copy Accessed www.ancestry.com; USDC.BC, *Fourteenth Federal Census of the United States, 1920, Population*, Copy Accessed www.ancestry.com; C.M. Foote and J.W. Henion, *Plat Book of Washington and Ozaukee Counties, Wisconsin* (Minneapolis, MN: C.M. Foote & Co., 1892); *Plat Book of Ozaukee County, Wisconsin*, 1939 (Copyright 1998 Ozaukee County Historical Society); *Ownership Plat Book of Ozaukee County, Wisconsin* (Milwaukee: Marathon Map Service, 1948); Tax Rolls, Town of Grafton, 1873-1950, Located at the Ozaukee County Courthouse, Treasurer Department, Port Washington, WI. The house features a datestone with the year 1884. Tax roll records were reviewed to see if valuation increases might reflect building construction on the property; however, they were inconclusive. Tax roll valuation information for the property from 1874 to 1950 is included in this report.

¹¹ Wisconsin Historic Aerial Imagery Collection, Maintained by the University of Wisconsin-Madison Geography Library, Available online at <http://maps.sco.wisc.edu/WHAIFinder/>, Accessed June 2013.

¹² Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 4-6; *History of Washington and Ozaukee Counties, Wisconsin*, 473.

decorative features at its ends in the gables and porches composed of chamfered posts, brackets and a wooden frieze with decorative cutouts. While the porches are not original, they were built by the current owners within the past four years based on a historic photograph of the house (see the historic photograph of the Henry & Mary Hennings House included in this report).¹³

The Wisconsin Historic Preservation Database (WHPD) features multiple subcategories for stone-constructed buildings including, “cut stone,” “fieldstone,” “limestone,” and “stone-unspecified.” Searching for comparison cut stone buildings in the surrounding area yielded three other cut stone buildings identified in the WHPD in Ozaukee County. Of these, a residence located in Saukville Township exhibits the gabled-ell form and similar stone quoining as the Henry & Mary Hennings House; however, it lacks the dressed, cut stone primary façade, distinctive datestone, and stone window hoods found on the subject property, instead featuring brick window hoods (Comparison Property #1, 2595 County Highway I, AHI #13232). Located south of the Hennings House in Grafton Township, the Louis & Sophia Hovener House is also a notable example of cut stone construction (Comparison Property #2, 308 N. Port Washington Road, AHI #13199, a DOE is also being prepared for this property). Featuring stone quoining and stone window hoods, the Hovener House also similarly has a modern garage addition; however, its addition is more visually prominent than the Hennings House garage, which is largely obscured when viewing the house’s primary facade.

The only stone-constructed residence in the Town of Grafton, Ozaukee County that carries a historic designation (i.e. National Register-listed or determined eligible) is the fieldstone August Beck House, which was determined eligible in September 1999 (Comparison Property #3, 1884 N. Port Washington Road, AHI #13180). The Hennings House compares favorably with this property as it similarly features stone quoining and window hoods. However, the Hennings House features an even greater level of craftsmanship with its dressed, cut stone primary façade, water table, and unique datestone. Finally, outside of Ozaukee County, *Cultural Resource Management in Wisconsin* cites the aforementioned David’s Star Evangelical Lutheran Kirche in Jackson Township, Washington County as a good example of quarried stone construction (Comparison Property #4, 2740 David’s Star Drive, AHI #14058), yet it lacks the level of integrity of the subject house as it features a mid-1960s entrance addition on its primary façade. Based on this information, as well as the level of craftsmanship and integrity it possesses, the Henry & Mary Hennings House is considered eligible under Criterion C as a very good and distinctive example of stone construction.¹⁴

¹³ Pape, Conversation with McQuillen, 7 March 2013.

¹⁴ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 4-6.

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_____. *Fourteenth Federal Census of the United States, 1920, Population.* Washington, D.C.: Government Printing Office, Copy Accessed online at www.ancestry.com on 27 February 2013.

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*Wisconsin Historic Preservation Database. Maintained by the Wisconsin Historical Society, Division of Historic Preservation. Available online to the public at www.wisconsinhistory.org/ahi.

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*Zimmermann, H. Russell. *The Heritage Guidebook: Landmarks and Historical Sites in Southeastern Wisconsin*. Milwaukee: Heritage Banks, 1978.

Determination of Eligibility Prepared By:

Name & Company: Michael T. McQuillen, **Heritage Research, Ltd.**

Address: N89 W16785 Appleton Avenue Phone: (262) 251-7792

City: Menomonee Falls State: WI Zip: 53051

Email: mmcquill@hrltd.org Date: March 2013

Sub-contracting to: Caron Kloser, **HNTB, Inc.**

Address: 11414 W. Park Place Phone: (414) 359-2300

City: Milwaukee State: WI Zip: 53224

Email: CKloser@HNTB.com Date: March 2013

TAX ROLL INFORMATION FOR HENRY & MARY HENNINGS PROPERTY, 754 N. PORT WASHINGTON ROAD, TOWN OF GRAFTON, OZAUKEE COUNTY:

YEAR(S)	TOTAL VALUATION (RANGE)	VALUATION IMPROVEMENTS
1874-1877	\$2725	
1878-1881	\$6000-\$6180	
1882-1883	\$5700	
1885-1889	\$6000-\$6100	
1890-1896	\$5500-5900	
1897-1899	\$5330	
1900	\$10580	
1901	\$10100	\$2300
1902	\$13520	\$2600
1903-1910	\$13300-\$13400	\$2600
1915	\$15000	\$2600
1920 & 1925	\$18000	\$3200
1930	\$17250	\$3000
1935	\$17150	\$3000
1940		\$3000
1945		\$3000
1950		\$3300

General Notes:

Tax roll information was reviewed for each year from 1873-1910 (excepting 1884 & 1886 which were not found) and every five years from 1910-1950.

1874 is the first year that Henry Hennings is associated with the property in the tax rolls.

Throughout the years listed above, the property acreage remained consistently in the 154½ to 156 acre range.

Although there is a significant increase in valuation from 1877 to 1878 and from 1899 to 1900, these increases appear to be widespread since additional property research revealed the same dramatic increases in those years for other properties in the Town of Grafton.

For tax purposes, properties within the Town of Grafton feature only a total valuation until 1901. At that point, separate valuations are given for the land and improvements (i.e. buildings) with total valuation simply the sum of these two numbers.

From 1940-50, the property is split into four separate parcels in the tax rolls. Only one of these parcels features a valuation for improvements and, for simplicity sake, only this value is listed in the table above.

PHOTOGRAPHS: All photographs of the Hennings House taken by Michael T. McQuillen in March 2013

(Note: a perspective photograph showing the relationship of the Henry & Mary Hennings House to I-43 could not be taken due to the proximity of the house to the interstate and the stand of trees located in between them)

HENRY & MARY HENNINGS HOUSE (Primary [west] and south elevations)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #1 of 15

HENRY & MARY HENNINGS HOUSE (Primary [west] and north elevations)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #2 of 15

HENRY & MARY HENNINGS HOUSE (North elevation)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to south

Photo #3 of 15

HENRY & MARY HENNINGS HOUSE (Rear [east] and south elevations)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #4 of 15

HENRY & MARY HENNINGS HOUSE (Primary [west] elevation detail – datestone)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to east

Photo #5 of 15

HENRY & MARY HENNINGS HOUSE (Interior detail – stairway railing)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #6 of 15

HENRY & MARY HENNINGS HOUSE (Agricultural buildings & barn foundation)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to north

Photo #7 of 15

HENRY & MARY HENNINGS HOUSE (Circa 1920 chicken coop and modern machine shed)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #8 of 15

HENRY & MARY HENNINGS HOUSE (Circa 1920 machine shed)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #9 of 15

HENRY & MARY HENNINGS HOUSE (Circa 1920 small barn)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #10 of 15

HENRY & MARY HENNINGS HOUSE (Circa 1920 shed)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #11 of 15

COMPARISON PROPERTY #1 (House)

2595 County Highway I

Town of Saukville, Ozaukee County, WI

June 2013

Photo #12 of 15

COMPARISON PROPERTY #2 (Louis & Sophia Hovener House)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

March 2013

Photo #13 of 15

COMPARISON PROPERTY #3 (August Beck House)

1884 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

March 2013

Photo #14 of 15

COMPARISON PROPERTY #4 (David's Star Evangelical Lutheran Kirche)

2740 David's Star Drive

Town of Jackson, Washington County, WI

June 2013

Photo #15 of 15

Photo #1 of 15



Photo #2 of 15



Photo #3 of 15



Photo #4 of 15



Photo #5 of 15



Photo #6 of 15



Photo #7 of 15



Photo #8 of 15



Photo #9 of 15



Photo #10 of 15



Photo #11 of 15



Photo #12 of 15

COMPARISON PROPERTY #1

AHI #13232



Photo #13 of 15

COMPARISON PROPERTY #2

AHI #13199



Photo #14 of 15

COMPARISON PROPERTY #3

AHI #13180



Photo #15 of 15

COMPARISON PROPERTY #4

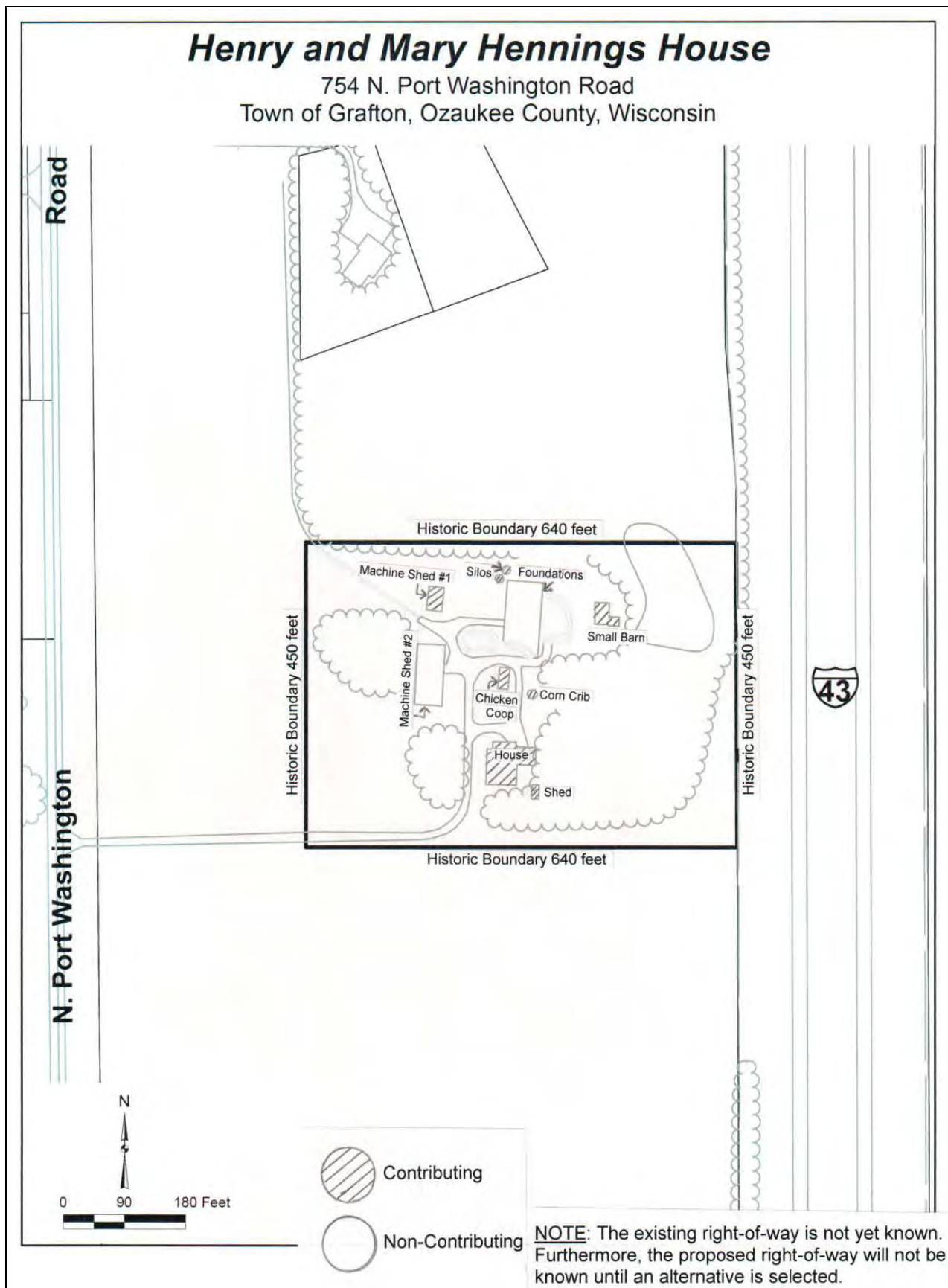
AHI #14058



Historic Photograph of the Henry & Mary Hennings House



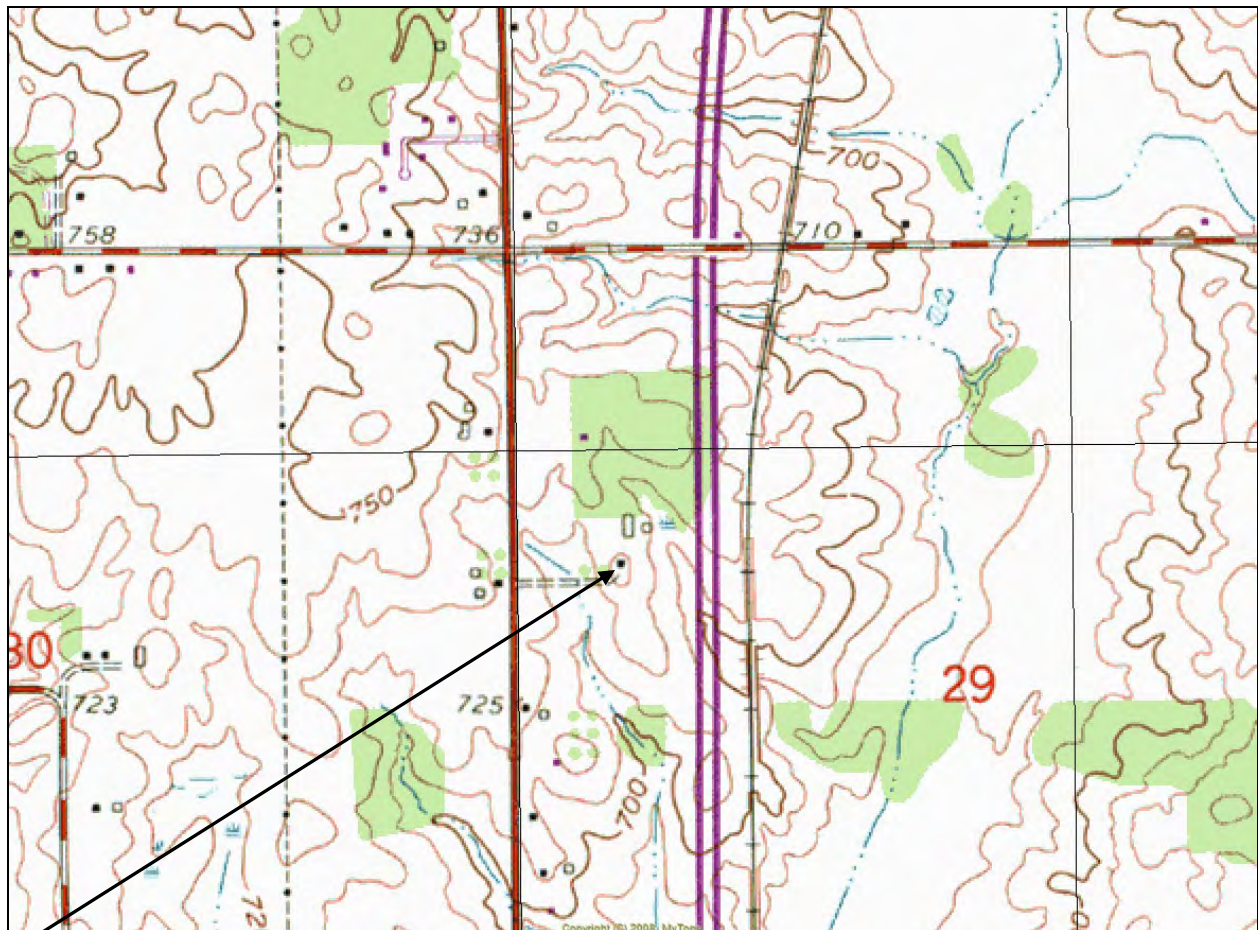
Undated photo. Photograph property of Mr. Jim Pape, current owner of the Henry & Mary Hennings House.



USGS Cedarburg

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



Henry & Mary Hennings House

754 N. Port Washington Road, Town of Grafton, Ozaukee County, WI

Zone 16 425185 Easting 4794797 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Johann Friederich & Catherine Hennings Farmstead

Address/Location: 1143 Lakefield Road

City & County: Town of Grafton, Ozaukee County **Zip Code:** 53024

Town: 10N **Range:** 22E **Section:** 32

Date of Construction: 1872 – 1949

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<u>X</u> private	<u>X</u> building(s)	-->	<u>6</u>	<u>2</u>
<u> </u> public	<u> </u> site	-->	<u> </u>	<u> </u>
If public, specify:	<u> </u> structure	-->	<u>1</u>	<u>1</u>
	<u> </u> object	-->	<u> </u>	<u> </u>
	<u> </u> district	Total:	<u>7</u>	<u>3</u>

Function/Use:

Historic Function(s):	DOMESTIC: Single dwelling; AGRICULTURE/SUBSISTENCE: Agricultural Outbuilding
Current Function(s):	DOMESTIC: Single dwelling; AGRICULTURE/SUBSISTENCE: Agricultural Outbuilding

Architectural Style(s): MID-19TH CENTURY: Greek Revival

Criteria:

<u> </u> A (history)	Areas of Significance:	<u>Architecture; Agriculture</u>
<u> </u> B (important persons)	Period of Significance:	<u>1872 – 1949</u>
<u>X</u> C (architecture/eng.)	Significant Dates:	<u>1872, circa 1875, 1877, circa 1900, 1910, 1949</u>
<u> </u> D (archaeology)	Significant Person:	<u> </u>
	Cultural Affiliation:	<u>German</u>
	Architect/Builder:	<u>Burhop (builder)</u>

Criteria Considerations:

<u> </u> A (owned by religious institution)	<u> </u> E (reconstruction)
<u> </u> B (moved)	<u> </u> F (commemorative)
<u> </u> C (birthplace/grave)	<u> </u> G (<50 years old)
<u> </u> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:	Approximately 4.89 acres		
UTM Reference:	16	425208	4793702
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is a polygon that measures approximately 385 feet by 555 feet by 390 feet by 545 feet. The long-center axis is perpendicular to Interstate Highway 43 (I-43).

Boundary Justification:

The west boundary runs concurrently with an existing treeline, while the east boundary follows a wire fence. Both of these boundaries coincide with the property line. The north boundary follows the edge of pavement of Lakefield Road since the existing right-of-way is not yet known. As well, it is the most discernible feature that allows for the inclusion of the granary within the historic boundary. The south boundary was drawn to reflect the edge of a cultivated field. The historic boundary follows visually discernible features and provides for an appropriate historical setting for the house and associated agricultural buildings. Indeed, it closely matches the historic farmstead boundary seen in a circa-1950 aerial image of the Johann Friederich & Catherine Hennings Farmstead included in this report.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject property was identified as potentially eligible as a good example of an intact historic farmstead. Research for this Determination of Eligibility included reviewing available records at the Ozaukee County Historical Society and researching historic tax roll information at the Ozaukee County Courthouse. The history of Washington & Ozaukee counties published in 1881 was consulted for information, as were historic plat maps and federal census records. A site visit was conducted and the current property owners provided historic photographs and information on the recent history of the property. The Wisconsin Historical Society's *Guidelines for Evaluating the Eligibility of Farmsteads* was consulted, as was the Wisconsin Historic Preservation Database (WHPD) in an attempt to find comparable property types within the area. As a result of this research, the Johann Friederich & Catherine Hennings Farmstead is considered eligible under Criterion C as a good example of the farmstead property type. As well, the farmstead house is also considered eligible under Criterion C as a distinctive example of fieldstone construction.

Narrative Description:

The Johann Friederich & Catherine Hennings Farmstead is located on the south side of Lakefield Road between N. Port Washington Road and Interstate Highway 43 (I-43). Agricultural fields are located to the south and north. As well, the Ozaukee Congregational Church (AHI #13188) built in 1902 and featuring modern additions is sited across Lakefield Road to the north. I-43 borders the property on the east, while late-twentieth-century residential and church properties are found to the west. The house is sited approximately 340 feet from I-43. The property consists of the subject house, a smokehouse, two barns, granary, hog & chicken barn, and a silo, all of which are considered to be contributing. A modern machine shed, two modern grain bins, and a modern animal shed are non-contributing elements.

House (Contributing, 1872, 1910)¹:

This one-and-one-half-story, side-gabled, fieldstone farmhouse has a two-story, vinyl-sided, wood-frame addition projecting from its rear (south) elevation. It exhibits Greek Revival-style influences with its wooden cornice featuring applied decoration and cornice returns. As well, its mortar is scored to imitate ashlar construction and dressed cut stone is utilized for quoins and window hoods. The symmetrical primary (north) facade features an original, one-story, truncated hipped-roof porch sheltering the center entrance (photos #1 & 2 of 17). The porch is composed of decorative elements including chamfered posts, ornamental brackets and a wooden frieze with decorative cutouts. The frieze extends into the gablets found on each side of the roof. The entrance features a three-light transom topped with a stone hood containing a keystone inscribed *J. F. Hennings 1872* (photo #5 of 17). A low, fieldstone wall projects from the elevation on either side of the porch expanding the porch area. Two window openings are found on each side of the porch and contain two-over-four, double-hung, wooden-sash windows resting on wooden sills. Although upper sash are rectangular, and not segmentally arched like the windowhoods, the muntin-profile and wavy-glass panes suggest that the fenestration is original.

East and west elevations similarly exhibit stone quoining and window hoods, a wooden cornice with applied decoration, and original fenestration (photos #2-4 of 17). Featuring two window openings on each floor, as well as two basement-level openings, the side elevations are identical except for the west elevation bulkhead, which accesses the basement.

A two-story, vinyl-sided, wood-frame addition built in 1910 projects from the center of the rear (south) elevation (photos #3 & 4 of 17). The addition features an asymmetrical arrangement of window openings that contain original, one-over-one, double-hung, wooden sash fenestration. Porches featuring paneled, cast-concrete posts are found on either side of the addition where it intersects with the original block. The open porch on the east elevation of the addition shelters an additional entrance to the 1872 block, over which is found a gabled dormer. On the addition's west elevation, the porch is largely enclosed and it contains the entrance to the addition. A wooden railing is mounted atop this latter porch.

¹ Datestone located above the primary (north) façade entrance; Neal & Heidi Maciejewski, Current owners of the Johann Friederich & Catherine Hennings Farmstead, Conversation with Michael T. McQuillen, 14 June 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI. Tax roll records were reviewed to see if valuation increases might reflect building construction on the property; however, they were inconclusive. Tax roll valuation information for the property from 1865 to 1950 is included on page 15 in this report [Tax Rolls, Town of Grafton, 1865-1950, Located at the Ozaukee County Courthouse, Treasurer Department, Port Washington, WI].

Alterations to the house consist of the installation of vinyl siding on the rear addition. The current property owners did not recall any alterations made during their approximate eight-year period of ownership.

On the interior, the residence's first floor consists of an entry hallway within the 1872 portion of the house, which features two rooms and a kitchen. The kitchen was formerly located within the 1910 addition. Consisting of three rooms, the addition also features a pantry with original wooden cabinetry. The second floor contains six bedrooms; four in the original portion of the house and two in the addition. Wood-paneled doors topped with two-light transoms access the bedrooms. Wooden floors are found throughout the house and consist of maple on the first floor and wide pine on the upper floor. The house retains its historic square, wood-paneled newel post and wooden railing (photo #6 of 17), as well as wood molding around its door and window openings. Like the exterior, the interior possesses a high degree of integrity.

Smokehouse (Contributing, circa 1875):

Sited in close proximity to the northeast corner of the house, the gabled fieldstone smokehouse features wide horizontal boards in its gable ends (photos #1, 2 & 7 of 17).

Barn #1 (Contributing, 1877)²:

Located west of the house by Lakefield Road, this gambrel-roof, bank barn rests on a fieldstone foundation and is sheathed with board and batten siding (photos #8, 9 & 11 of 17). Its east elevation features a loft overhang and gabled dormer. A datestone inscribed *F. W. Hennings 1877* embedded in the east foundation wall identifies that the barn was built by Friederich Wilhelm Hennings, son of Johann Friederich & Catherine. A historic photograph of the farmstead reveals that the barn originally featured a gabled roof; however, its existing gambrel roof dates to the historic period (see historic images of the Johann Friederich & Catherine Hennings Farmstead included in this report).

Barn #2 (Contributing, circa 1900):

Sited perpendicular to the southwest corner of the bank barn, this vertical-board-sided barn has a side gable roof (photos #8, 10, 11 of 17). Three, small, evenly spaced window openings pierce its south elevation.

Granary (Contributing, circa 1900):

Located next to Lakefield Road, this side-gabled, board-and-batten-sided granary has a metal roof (photos #9 & 14 of 17). The outbuilding features a sliding door on its south elevation and a shed-roof addition on its west elevation.

Hog & Chicken Barn (Contributing, circa 1900):

Sheathed with vertical board siding, the long, rectangular hog & chicken barn has a gabled roof and multiple door and window openings (photos #10 & 13 of 17).

² Datestone found within the east elevation foundation wall.

Silo (Contributing, 1949):

Constructed of glass-fused-to-steel panels, this A.O. Smith Corporation Harvestore silo is believed to be one of the first of its kind to be installed in the Grafton Township area (photos #8 & 9 of 17).³

Machine Shed (Non-Contributing, circa 1970):

Sited south of the barns, this metal-sided machine shed features a shed-roof, manure storage wing on its east elevation (photo #15 of 17).

Grain Bins (Non-Contributing, circa 1990):

Two metal grain bins are located by the southwest corner of the machine shed (photo #8 of 17).

Animal Shed (Non-Contributing, circa 2010):

Sheathed with standing-seam metal, this animal shed is found in the field to the east of the farmhouse (photo #16 of 17).

A circa-1950 aerial image of the farmstead reveals that the historic core of the farmstead is intact, although some ancillary buildings are no longer extant (see aerial image on page 28). Notably, the milk house was formerly sited south of the granary and helped frame the animal yard. A workshop building was located by the southeastern corner of the hog & chicken barn, while a small shed was found by Lakefield Road directly north of the primary barn. As well, two concrete silos were formerly located at the southern end of the primary barn and a gabled building – likely a machine shed – was sited at the southwest corner of the farmstead. (Note: the building seen between the former milk house and extant hog & chicken barn that is generally obscured by a large tree could not be identified).⁴

³ Maciejewski, Conversation with McQuillen, 14 June 2013.

⁴ Ibid.; Historic images of the Johann Friederich & Catherine Hennings Farmstead, Property of Neal & Heidi Maciejewski, Current owners of Johann Friederich & Catherine Hennings Farmstead.

CRM Context Chapters:	Architecture
	Agriculture
	Settlement

Statement of Significance:

The Johann Friederich & Catherine Hennings Farmstead was evaluated for the National Register under Criteria A, B and C. In terms of Criterion A, while Johann Friederich Hennings emigrated from Germany and purchased this property directly from the General Land Office of the United States on 1 August 1849, the subject house, built in 1872, and agricultural buildings are not associated with this earlier period. As well, considering that farmland accounted for more than half the total acreage of Ozaukee County by 1860, which was approximately twenty years after the first settlements, eligibility could not be established under Criterion A: Settlement. Similarly, research did not reveal any agricultural practices that were unique or especially innovative at the subject farmstead that would suggest eligibility under Criterion A. No evidence was found to substantiate eligibility under Criterion B. However, regarding Criterion C and, specifically, eligibility as a good example of a farmstead, the Wisconsin Historical Society's *Guidelines for Evaluating the Eligibility of Farmsteads* indicates that a farmstead is eligible when it contains a significant concentration of historic-period farm structures sufficient to show a characteristic Wisconsin farm grouping. In terms of typical buildings, the *Guidelines* list the house, barn, granary, secondary barns, machine sheds, chicken coops and corn cribs, as well as ancillary structures like pump houses and windmills as those associated with historic farmsteads. The Hennings Farmstead retains its most significant historic agricultural buildings including its smokehouse, primary and secondary barns, granary, hog & chicken barn, and an early example of an A.O. Smith Harvestore silo. As well, its farmhouse is intact possessing a high degree of integrity. Indeed, the Hennings farmhouse is a distinctive example of fieldstone construction, which was often employed by Wisconsin's German immigrant population. Featuring its original porch and fenestration, the subject house also exhibits such architectural details as stone quoining and window hoods, an inscribed datestone, and applied ornamentation on its wooden cornice. Based on this information, as well as comparing the farmstead to other farms in the surrounding area, the Johann Friederich & Catherine Hennings Farmstead is considered eligible under Criterion C as a good example of the farmstead property type. Additionally, its farmhouse is also considered eligible as an intact and distinctive example of fieldstone construction.

Historical Background:

The general history and agricultural character of Ozaukee County and Grafton Township is discussed in the *History of Washington and Ozaukee Counties, Wisconsin* (1881). Briefly summarized, the area now known as Ozaukee County was originally part of Washington County, which was established by the Wisconsin Territorial Legislature on 7 December 1836. Ozaukee County was separated from Washington County in 1853 and includes Grafton Township, which was established on 26 January 1846.⁵

By 1860, approximately twenty years after the first settlements, farmland accounted for more than half the total acreage of Ozaukee County. Wheat remained the principal cash crop until later in the nineteenth

⁵ *History of Washington and Ozaukee Counties, Wisconsin: Containing an Account of Its Settlement, Growth, Development and Resources* (Chicago: Western Historical Co., 1881), 309, 526.

century, when the influx of wheat produced in the states west of the Mississippi River began to depress the market for Wisconsin wheat. Corn and oats continued to be grown in Ozaukee County through the 1940s, with corn production rising steadily after 1860 and oat production plateauing around 1900. Barley production fluctuated in response to the regional brewing industry's demand, spiking in 1910 and dropping throughout the Prohibition era. A rise in flax production during World War II subsided quickly only to surge in 1947 as a result of government price supports. Never a large crop in Wisconsin, flax production was largely confined to Ozaukee County and the southern portion of neighboring Sheboygan County. The rise of the dairy industry in Ozaukee County in the later nineteenth century reflected statewide agricultural trends. By 1909, the Town of Grafton featured two creameries and a cheese factory. In 1944, approximately ninety percent of the land in Ozaukee County was used for agriculture with dairy farming accounting for two-thirds of its farms. Agricultural production in the county decreased in the latter part of the twentieth century in response to growth in neighboring Milwaukee County and the construction of Interstate Highway 43, which has spurred both commercial and residential development.⁶

In terms of settlement, the first arrivals to the area were generally Americans, largely from New York and Ohio. Early immigrants featured those of English, Irish and German nationalities, including a colony of German Lutherans – known as the Freidstadt Colony – who settled in the western portion of Mequon Township in 1839. Shortly thereafter, the German influx into Ozaukee County increased and, as early as 1850, they were the largest immigrant group in the area. This mirrored a statewide trend where, by 1860, Wisconsin's 123,879 Germans were its largest foreign-born nationality with their heaviest concentration of settlement found in the eastern portion of the state south of Green Bay. By 1880, the population of Ozaukee County was 16,455; of which, Germans and Luxembourgers comprised seven-eighths, while the remaining population consisted of Americans, Norwegians and Irish.⁷

Resource-Specific History:

Born in 1804, Johann Friederich Hennings immigrated to the United States from Altenburg, Germany, in July 1847. He purchased the subject property directly from the General Land Office of the United States on 1 August 1849. Listed under his middle name in federal census records, he and his wife Catherine had two sons: Wilhelm, who immigrated to the United States with the family, and Henry, who was born in Wisconsin. The Hennings family built the subject house in 1872. The publication, *The Heritage Guidebook: Landmarks and Historical Sites in Southeastern Wisconsin* identifies "Mr. Burhob" [Burhop] as the builder.⁸ No information regarding the Hennings family was found in the 1881 published history of

⁶ *A Century of Wisconsin Agriculture, 1848-1948* (Madison: Wisconsin Department of Agriculture, 1948), 15, 31-33, 35, 50, 74; *History of Washington and Ozaukee Counties, Wisconsin*, 529; *Biennial Report of the Dairy and Food Commissioner of Wisconsin for the Two Years Ending June 30, 1908* (Madison: Dairy and Food Commissioner, 1909), 206.

⁷ *History of Washington and Ozaukee Counties, Wisconsin*, 324, 473, 474; Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 Vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 1, Settlement, 2-2, 2-4, 2-8.

⁸ The house features a datestone with the year 1872. Tax roll records were reviewed to see if valuation increases might reflect building construction on the property; however, they were inconclusive. Tax roll valuation information for the property from 1865 to 1950 is included on page 15 in this report. Regarding the builder, while no additional sources were found to substantiate the information in *The Heritage Guidebook*, a number of individuals with the surname "Burhop" are interred at the nearby Lakefield Cemetery including Diedrich (born 1829), Friedrich (born 1832), and Heinrich (born 1843); all of whom would have been mature adults in 1872 when the subject house was

Ozaukee County.⁹

Following Johann's death on 12 September 1874, the farm was operated by his eldest son and grew to include the forty acres Wilhelm owned next to his parents. In 1880, the household consisted of Wilhelm, his mother Catherine, Wilhelm's wife Sophie (nee Beta Sophie Affel) and their daughter Anna. In his will, Wilhelm left Sophie all household furniture, personal property, and real estate (she also is listed as sole executrix). He also bequeaths \$800 to each of his daughters, Anna, Wilhelmine and Katharine, when they reached the age of eighteen. After Wilhelm's death on 21 December 1883, Sophie married Henry Kropp in 1885. In 1901, Sophie is again widowed and she lives at the farm with her daughter Anna and her husband, William Hovener. Shortly thereafter, in 1910, the wood-frame addition was constructed on the rear elevation of the house. This addition was built on the former location of the summer kitchen. Sophie continued to own the subject farm until at least 1920; thereafter, it is identified with William Hovener into the mid-twentieth century. William was a farmer and banker serving as a director and president of the Grafton State Bank. He was also a director of the former Lakefield Creamery (no longer extant). William and Anna Hovener's daughter Wilma and her husband Gary Clasen then owned the property prior to selling it to the current owners approximately eight years ago.¹⁰

Farmstead:

Regarding eligibility as a good example of a farmstead, the Wisconsin Historical Society's *Guidelines for Evaluating the Eligibility of Farmsteads* indicates that a farmstead is eligible when it contains a significant concentration of historic-period farm structures sufficient to show a characteristic Wisconsin farm grouping. In terms of typical buildings, the *Guidelines* list the house, barn, granary, secondary barns, machine sheds, chicken coops and corn cribs, as well as ancillary structures like pump houses and windmills as those associated with historic farmsteads. The *Guidelines* further indicate that the house is a key component of this property type. Additionally, *Cultural Resource Management in Wisconsin* states that farmsteads "should be evaluated in the context of the entire farmstead... [and] some modern intrusions may not detract from National Register eligibility, but the overall architectural integrity of these

built [H. Russell Zimmermann, *The Heritage Guidebook: Landmarks and Historical Sites in Southeastern Wisconsin* (Milwaukee: Heritage Banks, 1978), 185].

⁹ *United States General Land Office Records, 1796-1907* (Washington, D.C.: Bureau of Land Management), Copy Accessed online at www.ancestry.com on 19 February 2013; United States Department of Commerce, Bureau of Census (hereafter cited as USDC.BC), *Eighth Federal Census of the United States, 1860, Population* (Washington, D.C.: Government Printing Office), Copy Accessed online at www.ancestry.com on 18 February 2013; G.V. Nash, M.G. Tucker and E.M. Harney, *Map of Washington and Ozaukee Counties, Wisconsin: 1873-4* ([Wisconsin]: G.V. Nash & M.G. Tucker, 1874); *History of Washington and Ozaukee Counties, Wisconsin*.

¹⁰ USDC.BC, *Ninth Federal Census of the United States, 1870, Population*, Copy Accessed www.ancestry.com; USDC.BC, *Tenth Federal Census of the United States, 1880, Population*, Copy Accessed www.ancestry.com; Friederich Wilhelm Hennings, Last Will and Testament, Ozaukee County Ledger #739, Page 300 (18 December 1883), Located at the Ozaukee County Historical Society, Cedarburg, Wisconsin; C.M. Foote and J.W. Henion, *Plat Book of Washington and Ozaukee Counties, Wisconsin* (Minneapolis, MN: C.M. Foote & Co., 1892); *Wisconsin State Census, 1905* (Madison: State Historical Society of Wisconsin, Archives Division), Copy Accessed online at www.ancestry.com on 19 February 2013; *Map of Ozaukee County, Wisconsin* (Delavan, WI: Hennessey & Co., 1913); *Atlas of Ozaukee County, Wisconsin* (Sheboygan, WI: J. Donohue Engineering Co., 1921); Maciejewski, Conversation with McQuillen, 14 June 2013; William H. Hovener, Obituary, *Sheboygan (WI) Press*, 24 December 1957. Note: Wilhelm Hennings' given name was Friederich Wilhelm Hennings, although he is most commonly referred to as Wilhelm on public documents and plat maps. In terms of the federal census, he was identified as Frederic in 1860 & 1870 and as William in 1880.

structures should be an important contextual consideration.” A circa-1950 aerial image of the farmstead reveals that the Hennings Farmstead buildings that are no longer extant were smaller in scale and, in some cases, served subsidiary roles, as with the workshop and a small shed, compared to the agricultural buildings that remain (see aerial image on page 28). The outbuildings that are no longer extant include the milk house, which was formerly sited south of the granary helping frame the animal yard. A workshop building was located by the southeastern corner of the hog & chicken barn, while a small shed was found by Lakefield Road directly north of the primary barn. As well, two concrete silos were formerly located at the southern end of the primary barn and a gabled building – likely a machine shed – was sited at the southwest corner of the farmstead. (Note: the building seen between the former milk house and extant hog & chicken barn that is generally obscured by a large tree could not be identified). The Hennings Farmstead, however, retains its most significant agricultural buildings including its smokehouse, primary and secondary barns, granary, hog & chicken barn, and an early example of an A.O. Smith Harvestore silo. As well, its farmhouse is intact and possesses a high degree of integrity. Furthermore, modern additions to the farmstead are relatively minimal consisting of the machine shed and grain bins (the animal shed is sited east of the house and is not part of contiguous farmstead area). The circa-1950 aerial image also reveals that the historic agricultural buildings possess an overall good degree of integrity.¹¹

In terms of farmstead layout, a number of factors – weather, topography, convenience, land survey systems and tradition – have historically promoted variations in the arrangement of farmsteads. All of these components interact, making it difficult to assess the influence of any one in particular. Regardless, three general arrangement patterns are historically discernible. These range from “free-form” or “strewn” pattern, whereby structures appear to be arranged haphazardly, but actually follow the contour of a slope, to a compass-point system, whereby structures are oriented in the same direction with regard to road or survey lines. The third pattern features a courtyard arrangement. According to one source, the “Teutonic” core of Europe – specifically, German, Dutch, Swedish immigrants – introduced this configuration to the United States. In this model, several buildings are constructed around a central space or yard, while surrounding structures serve as wind breaks and protect livestock kept in an open area. The Johann Friederich & Catherine Hennings Farmstead is an example of the courtyard layout as evidenced by the circa-1950 aerial image of the property. While the existing driveway and lawn have encroached upon the Hennings livestock yard, the core agricultural buildings that framed this courtyard – namely, the two barns, granary, and hog & chicken barn remain, albeit the milk house is no longer extant (see existing aerial image included in this report).¹²

Surveying the Town of Grafton for comparable farmsteads identified a number that featured either farmhouses or agricultural buildings possessing a lesser degree of integrity than those within the

¹¹ Wisconsin Historical Society, *Guidelines for Evaluating the Eligibility of Farmsteads*, Distributed at the Twelfth Annual Training Session for Architecture and History Consultants (23 May 2005), Madison, WI; Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Agriculture, 11-7; Maciejewski, Conversation with McQuillen, 14 June 2013; Historic images of the Johann Friederich & Catherine Hennings Farmstead.

¹² Allen G. Noble and Hubert G.H. Wilhelm, eds., *Barns of the Midwest* (Athens, OH: Ohio University Press, 1995), 9-10, 81; Terry G. Jordan and Matti Kaups, *The American Backwoods Frontier: An Ethnic and Ecological Interpretation* (Baltimore: The Johns Hopkins Press, 1989), 129-34; Allen G. Noble, ed., *To Build a New Land: Ethnic Landscapes in North America* (Baltimore: The Johns Hopkins Press, 1992), 102; Thomas C. Hubka, *Big House, Little House, Back House, Barn: The Connected Farm Buildings of New England* (Hanover, NH: University Press of New England, 1984), 114-19.

Hennings Farmstead. As well, it also revealed that growth in neighboring Milwaukee County and the construction of Interstate Highway 43 has spurred commercial and residential development in the area, which is transforming the historic agricultural character of the township. The associated Architecture/History Survey (WisDOT #1229-04-01) identified two farmsteads in Grafton that reflected the aforementioned integrity issues located at 1055 Arrowhead Road (AHI #222412) and 753 Port Washington Road (AHI #222431). In each case, remodeling of and additions to farmstead buildings did not allow for potential eligibility. As well, additional surveyed properties featuring nineteenth-century, stone-constructed farmhouses; namely, the Henry & Mary Hennings House (AHI #222306, Henry is the son of Johann Friederich & Catherine, a DOE also has been prepared for this property) and the Ernst Schnabel Farmstead (AHI #13187), no longer possessed a significant concentration of historic-period farm structures to be eligible as farmsteads. Indeed, the primary barns on each property were razed within the past thirty years. Possessing a significant concentration of historic agricultural buildings, which form a courtyard layout, the Johann Friederich & Catherine Hennings Farmstead is considered eligible under Criterion C as a good example of the farmstead property type.

Architecture:

Regarding stone construction, the most popular period of fieldstone construction in Wisconsin was between 1850 and 1880. This was attributable to the common occurrence of stone combined with the building traditions of the state's early settlers. Prehistoric glacial activity in the area left abundant fieldstone deposits. Similar geology characterized northern European countries and, as a result, many European immigrant groups who commonly used fieldstone construction in their native lands transported these skills to Wisconsin. Specifically, German and Irish immigrants frequently built fieldstone structures. The highest concentration of fieldstone structures in Wisconsin is found in the southeastern portion of the state, where German and Irish settlement was prominent. Extant fieldstone structures in this area include fences, houses, barns, silos, churches and commercial buildings. The earliest buildings consist of large, whole fieldstones with voids between the stones filled with smaller stones and liberal amounts of mortar. Later structures feature split boulders that were mortared with thinner joints. Quoins (corner blocks) consisting of quarried rock or brick were often applied. The publication, *History of Washington and Ozaukee Counties, Wisconsin*, notes that building materials were plentiful in Ozaukee County. Sand was abundant and easily accessible. It also notes that limestone was found at various points throughout the county and good quality sandstone was located along the Milwaukee River.¹³

Searching the Wisconsin Historic Preservation Database (WHPD) for comparable fieldstone-constructed buildings in the Town of Grafton identified four resources. Of these, the ruins of a church (AHI #13121) and a house sited a distance from the roadway and lacking a construction date (AHI #13730) are not good comparisons. The third resource, the Ernst Schnabel Farmstead house (AHI #13187), was identified in the associated Architecture/History Survey as lacking sufficient integrity to be potentially eligible. The remaining building – namely, the August Beck House (Comparison Property, 1884 N. Port Washington Road, AHI #13180, built 1877) – is a good example of fieldstone construction. Indeed, this gabled-ell was determined eligible for its method of construction on 13 September 1999. The Johann Friederich & Catherine Hennings House compares favorably with this property as it similarly features stone quoining

¹³ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 4-6; *History of Washington and Ozaukee Counties, Wisconsin*, 473.

and stone window hoods. Both houses also feature a high degree of integrity possessing their original fenestration. However, while the Beck House has a modern porch, the subject house retains its original porch. Additionally, the Hennings House exhibits an even greater level of architectural detail and craftsmanship with its inscribed datestone featuring the owner's name, applied ornamentation on the wooden cornice and cornice returns (the August Beck House datestone only features the year of construction). While the subject house has a rear addition with modern siding, this addition dates to the historic period and is minimally visible when viewing the primary façade, as it is centered on the rear elevation. Based on this information, the Johann Friederich & Catherine Hennings Farmstead house is considered eligible under Criterion C as a very good and distinctive example of fieldstone construction.¹⁴

Summary:

The Johann Friederich & Catherine Hennings Farmstead is considered eligible under Criterion C as a good example of the farmstead property type. As well, the farmstead house is also considered eligible under Criterion C as a distinctive example of fieldstone construction.

¹⁴ Interestingly, both the subject property and August Beck property retain their fieldstone smokehouses: AHI #222434 and AHI #127699, respectively.

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Determination of Eligibility Prepared By:

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Email:	CKloser@HNTB.com	Zip:	53224
		Date:	June 2013

TAX ROLL INFORMATION FOR JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD, 1143 LAKEFIELD ROAD, TOWN OF GRAFTON, OZAUKEE COUNTY:

YEAR(S)	TOTAL VALUATION (RANGE)	VALUATION IMPROVEMENTS
1865-1866	\$320	
1867	\$450	
1870*-1877	\$1500-\$1550	
1878	\$3764	
1879-1881	\$3600-\$3700	
1882-1887	\$3400-\$3500	
1888-1891	\$3100-\$3250	
1892-1899	\$3000-\$3050	
1900	\$5520	
1901	\$5400	\$1500
1902-1905	\$7800	\$2340
1906-1910	\$7800	\$2400
1915	\$8950	\$2700
1920	\$10800	\$3400
1925 & 1930	\$10600	\$3200
1935	\$10800	\$3400
1940		\$3400
1945		\$3400
1950		\$3700

* Property size increases from 40 acres to 80 acres in 1870.

General Notes:

Tax roll information was reviewed for each year from 1865-1910 (excepting 1868, 1869, 1884 & 1886 which were not found) and every five years from 1910-1950.

From 1870-1935, the property acreage remained consistently in the 78 to 80 acre range. Prior to 1870, the property is 40 acres.

Although there is a significant increase in valuation from 1877 to 1878 and from 1899 to 1900, these increases appear to be widespread since additional property research revealed the same dramatic increases in those years for other properties in the Town of Grafton.

For tax purposes, properties within the Town of Grafton feature only a total valuation until 1901. At that point, separate valuations are given for the land and improvements (i.e. buildings) with total valuation simply the sum of these two numbers.

From 1940-50, the property is split into three separate parcels in the tax rolls. Only one of these parcels features a valuation for improvements and, for simplicity sake, only this value is listed in the table above.

PHOTOGRAPHS: All photographs of the Hennings Farmstead taken by Michael T. McQuillen June 2013

(Note: a perspective photograph showing the relationship of the Johann Friederich & Catherine Hennings Farmstead to I-43 could not be taken due to the proximity of the farmstead to the interstate and existing vegetation; however, the I-43 overpass spanning Lakefield Road can be clearly seen in photo #16 of 17)

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, primary [north] elevation, and smokehouse)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to south

Photo #1 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, primary [north] and east elevations, and smokehouse)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #2 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, rear [south] and east elevations)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #3 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, west elevation)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to east

Photo #4 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, primary [north] elevation detail – datestone over entrance)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to south

Photo #5 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (House, interior detail – stairway newel post and railing)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to south

Photo #6 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Circa 1875 smokehouse)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #7 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (View along Lakefield Road – 1877 barn, circa 1900 barn, 1949 silo, modern grain bins)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #8 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (View along Lakefield Road – 1877 barn, 1949 silo, circa 1900 granary, house in background)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #9 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Agricultural buildings – circa 1900 hog & chicken barn in foreground, 1877 barn and circa 1900 barn in background)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #10 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (1877 barn in foreground and circa 1900 barn in background)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #11 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (1877 barn detail – datestone embedded in the foundation)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #12 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Circa 1900 hog & chicken barn)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #13 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Circa 1900 granary)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #14 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Modern machine shed)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #15 of 17

JOHANN FRIEDERICH & CATHERINE HENNINGS FARMSTEAD (Modern animal shed)

1143 Lakefield Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #16 of 17

COMPARISON PROPERTY (August Beck House)

1884 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

March 2013

Photo #17 of 17

Photo #1 of 17



Photo #2 of 17



Photo #3 of 17



Photo #4 of 17



Photo #5 of 17



Photo #6 of 17



Photo #7 of 17



Photo #8 of 17



Photo #9 of 17



Photo #10 of 17



Photo #11 of 17



Photo #12 of 17



Photo #13 of 17



Photo #14 of 17



Photo #15 of 17



Photo #16 of 17



Photo #17 of 17

COMPARISON PROPERTY

AHI #13180



Historic images of the Johann Friederich & Catherine Hennings Farmstead



Undated photograph. Property of Neal & Heidi Maciejewski, current owners of Johann Friederich & Catherine Hennings Farmstead.



Circa-1950 aerial. Property of Neal & Heidi Maciejewski, current owners of Johann Friederich & Catherine Hennings Farmstead.

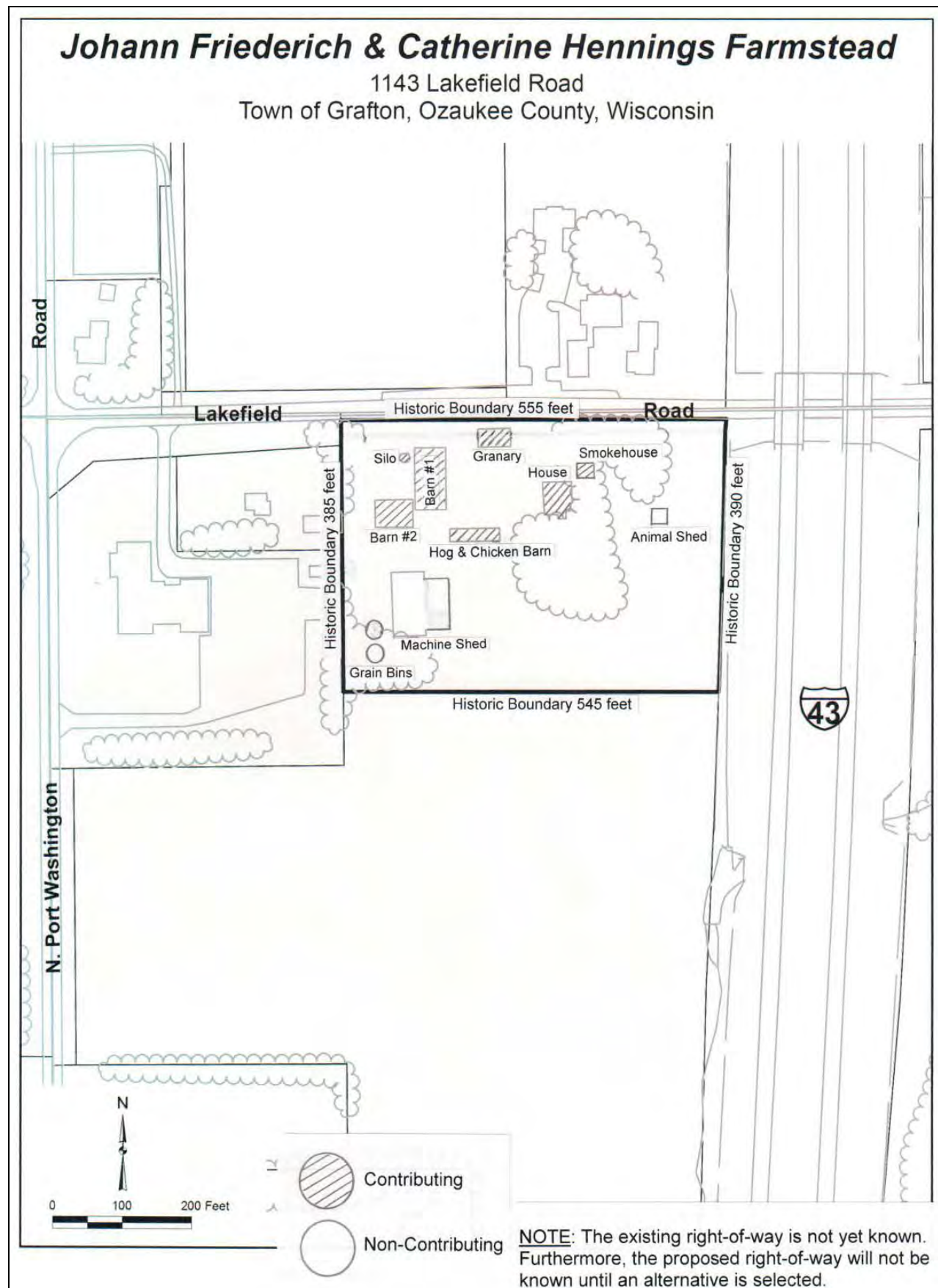
Johann Friederich & Catherine Hennings Farmstead – 1937 and existing



Wisconsin Historic Aerial Imagery Collection (1937)



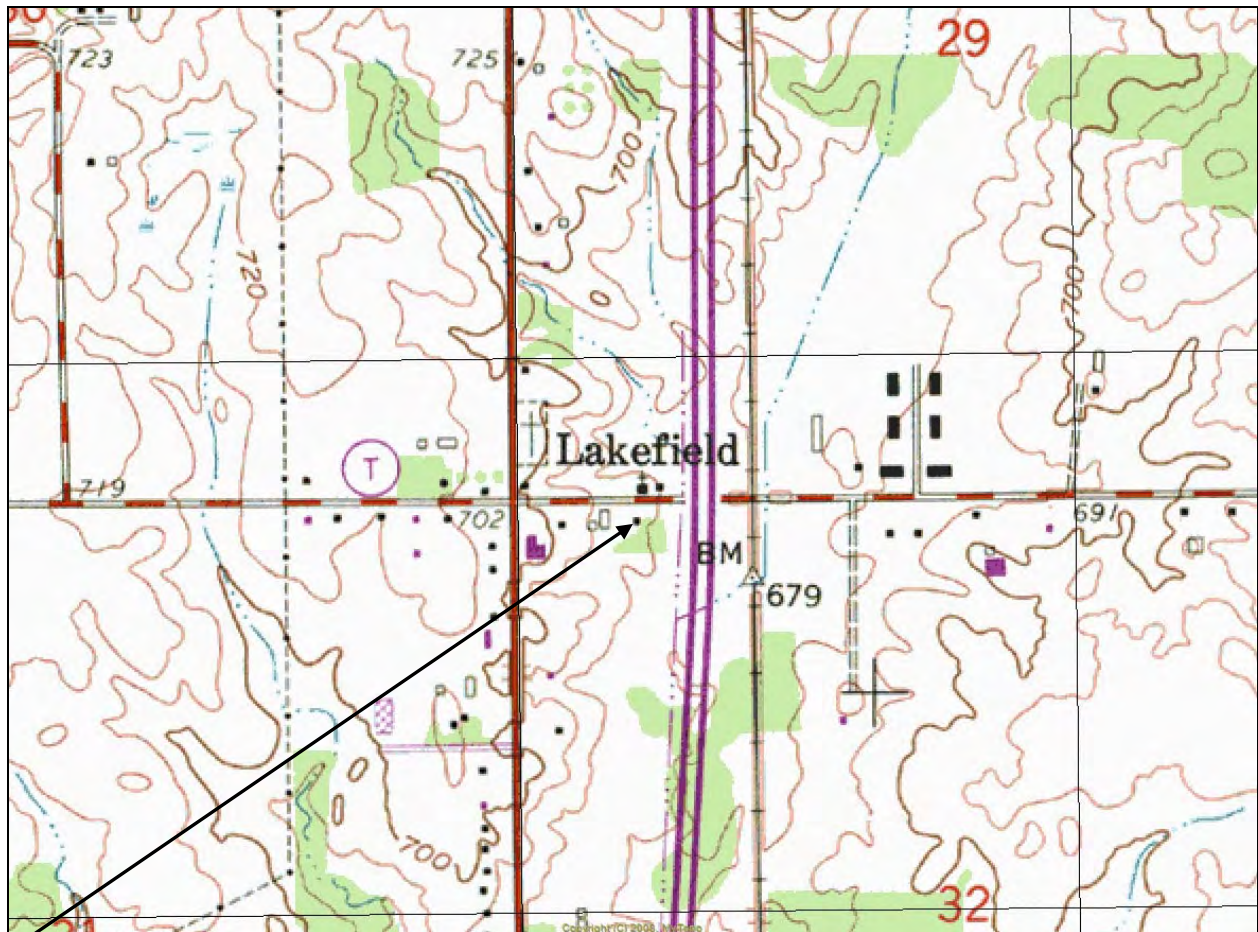
Google Maps



USGS Cedarburg

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



Johann Friederich & Catherine Hennings Farmstead
1143 Lakefield Road, Town of Grafton, Ozaukee County, WI
Zone 16 425208 Easting 4793702 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Louis & Sophia Hovener House

Address/Location: 308 N. Port Washington Road

City & County: Town of Grafton, Ozaukee County **Zip Code:** 53024

Town: 10N **Range:** 22E **Section:** 32

Date of Construction: 1890, 1939, 2006

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	4	3
<input type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify:	<input type="checkbox"/> structure	-->	2	
	<input type="checkbox"/> object	-->		1
	<input type="checkbox"/> district	Total:	6	4

Function/Use:

Historic Function(s):	DOMESTIC: Single dwelling; AGRICULTURE/SUBSISTENCE: Agricultural Outbuilding
Current Function(s):	DOMESTIC: Single dwelling; AGRICULTURE/SUBSISTENCE: Animal Facility

Architectural Style(s): NO STYLE (Quarried-Stone Construction)

Criteria:

<input type="checkbox"/> A (history)	Areas of Significance:	Architecture
<input type="checkbox"/> B (important persons)	Period of Significance:	1890, 1939
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	Circa 1875, 1890, 1921, circa 1925, 1939, 2006
<input type="checkbox"/> D (archaeology)	Significant Person:	
	Cultural Affiliation:	German
	Architect/Builder:	Unknown

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:

Approximately 2.97 acres

UTM Reference:

16

425043

4792943

Zone

Easting

Northing

Verbal Boundary Description:

The historic boundary of the property is a rectangle that measure approximately 340 feet by 380 feet. The long-center axis is perpendicular to Interstate Highway 43 (I-43).

Boundary Justification:

The west boundary runs concurrently with a modern wooden fence, while the south boundary falls along the treeline. Both of these boundaries coincide with the property line. The north boundary follows the southern edge of pavement of the business park drive, as well as a wooden fence by the machine shed. This boundary similarly coincides with the property line. The east boundary was drawn to reflect the eastern edge of the gravel drive behind the banquet hall building. This boundary follows visually discernible features and provides for an appropriate historical setting for the house and associated agricultural buildings.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject house was identified as potentially eligible for architectural significance as a prominent example of stone construction in the area. Research for this Determination of Eligibility included reviewing available records at the Ozaukee County Historical Society and researching historic tax roll information for the property at the Ozaukee County Courthouse. The history of Washington & Ozaukee counties published in 1881 was consulted for information, as were historic plat maps and federal census records. A site visit was conducted and the current property owners provided information on the recent history of the property. Finally, the Wisconsin Historic Preservation Database (WHPD) was consulted to find comparable examples of stone construction within the area. As a result of this research, the Louis & Sophia Hovener House is considered eligible under Criterion C as a very good and intact example of stone construction.

Narrative Description:

The Louis & Sophia Hovener House is located on the east side of N. Port Washington Road between Lakefield Road and Pioneer Road in the Town of Grafton, Ozaukee County. The circa 2008 Legacy Business Park is sited to the north, while Interstate Highway 43 (I-43) borders the property on the east. To the south is a wooded area and a circa 1970, split-level house. Additional mid-to-late-twentieth-century residences are located to the west across N. Port Washington Road. The Hovener House is sited approximately 650 feet from I-43. The property consists of the subject house, granary, hog & chicken barn, corn crib, milk house and poured concrete silo, all of which are considered to be contributing (although the property is not eligible as a farmstead, the remaining historic agricultural buildings are contributing since they provide the context and setting for the construction of the house as part of a farmstead). The machine shed, a modern shed, modern banquet hall building and a wooden fence are non-contributing elements.

House (Contributing, 1890, 1939, 2006)¹:

This two-story house consists of a main block and wing. Originally featuring a flat roof, the existing hipped roof was installed in 1939. The Hovener House exhibits coursed, quarried stone with liberally applied mortar on the primary elevation of its wing, as well as on its side and rear elevations, while the primary façade of the main block features dressed, cut stone with thin mortar joints (photos #1 & 2 of 19). Additional elements of its construction include stone quoining, window hoods and sills, and a primary façade water table, all of which feature a tooled finish (photos #5 & 6 of 19). A primary (west) façade, one-story, wooden porch composed of turned posts, decorative brackets and a spindlework frieze shelters separate entrances on the main block and wing (photo #2 of 19). The house predominantly retains its original, double-hung, wooden sash fenestration, although some upper level window openings contain replacement windows.

The south elevation features a two-story bay in the center of the façade (photo #1 of 19), while the north elevation simply contains two window openings on each floor (photos #2 & 3 of 19).

An enclosed, one-story, clapboard-sided porch is located on the rear (east) elevation of the wing (photo #3 of 19). A wheelchair ramp accesses the porch, which features three-over-one, double-hung, wooden sash windows. A wooden railing is mounted atop the porch. An entrance to the basement consisting of a small, gabled wing projects from the main block (photo #4 of 19).

A two-story, stone, side-gabled garage projecting from the southeast corner of the house was built in 2006 (photos #1 & 4 of 19).

¹ H. Russell Zimmermann, *The Heritage Guidebook: Landmarks and Historical Sites in Southeastern Wisconsin* (Milwaukee: Heritage Banks, 1978), 185; Marko Musich & Jane Hamilton, Current owners of the Louis & Sophia Hovener House, Conversation with Michael T. McQuillen, 14 March 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI. The 1890 construction date is derived from *The Heritage Guidebook*. No additional sources were found to substantiate this date; however, a circa-late-1890s photograph of the property included in this report shows the Hovener House. As well, tax roll records were reviewed to see if valuation increases might reflect building construction on the property, yet they were inconclusive. Tax roll valuation information for the property from 1874 to 1950 is included on page 14 in this report [Tax Rolls, Town of Grafton, 1870-1950, Located at the Ozaukee County Courthouse, Treasurer Department, Port Washington, WI].

Alterations consist of the 2006 garage built on the southeast corner of the house (on the interior, the garage is accessed through a doorway). As well, the existing kitchen was installed by the current owners who have owned the property since 1995. Based on a 1975 photograph of the house included in its Wisconsin Historic Preservation Database record (AHI #13199) it appears that the primary façade, upper-floor, two windows have been replaced with modern fenestration. Otherwise, the house retains the same appearance as it did at that time.

On the interior, the residence's first floor consists of an entry hallway, parlor, dining room, pantry and two small bedrooms, as well as, a modern kitchen and bathroom. The kitchen does retain its original wainscoting. The first floor also features original wooden floors, wood molding and wood-paneled doors including pocket doors. Three bedrooms and a modern bathroom are found on the second floor, which is carpeted. Transom windows are situated above the wood-paneled bedroom doors. The property owners preferred that an interior photograph not be taken.

Granary (Contributing, circa 1875):

Sited to the east of the house, the granary is sheathed with vertical board siding (photo #7 of 19). This building has a gabled roof and rests on a stone foundation. The granary is the oldest building on the property and was originally located by N. Port Washington Road.²

Hog & Chicken Barn (Contributing, 1921):

Resting on a stone foundation, this gabled, vertical-board-sided hog barn has a shed roof, chicken coop wing (photo #8 of 19). A wood board in the chicken coop features a notation indicating the building's construction date.

Corn Crib (Contributing, circa 1925):

A gabled, wooden corn crib is located to the west of the hog & chicken barn (photo #9 of 19).

Milk House (Contributing, circa 1925):

Sited west of the corn crib, this gabled milk house is sheathed with drop siding (photo #9 of 19).

Poured Concrete Silo (Contributing, circa 1925):

This poured concrete silo is located by the northwest corner of the banquet hall building (photo #10 of 19)

Machine Shed (Non-Contributing, circa 1930):

Featuring a gambrel roof, this machine shed has been remodeled to serve as the admission building of The Family Farm agribusiness and includes a gift shop and café (photos #11 & 12 of 19).

² Musich & Hamilton, Conversation with McQuillen, 14 March 2013.

Shed (Non-Contributing, 2005)

Located south of the corn crib and milk house, this modern shed features standing-seam, metal siding (photo #9 of 19).

Banquet Hall Building (Non-Contributing, 2008):

Designed to resemble a barn, this building was constructed on the fieldstone foundation of the historic primary barn, which was destroyed by fire in 2007 (photos #10 & 11 of 19).

Wooden Fence (Non-Contributing, modern):

This wooden fence is situated on the west property line (photo #13 of 19).

CRM Context Chapters:	Architecture
	Agriculture

Statement of Significance:

The Louis & Sophia Hovener House was evaluated for the National Register under Criteria A, B and C. Considering Louis Hovener immigrated to the United States at the age of four and Sophia was a first-generation American citizen, as well as the fact that they established their farmstead on the subject property decades following the initial settlement of the area, no evidence was found to substantiate eligibility under Criterion A. As well, research did not reveal information to support eligibility under Criterion B. In terms of Criterion C, the former farmstead continues to possess some of its historic-period agricultural buildings, yet the historic primary barn was destroyed by fire in 2007 and modern buildings have been added to the property, which precludes potential eligibility as a good example of the farmstead property type. However, the Louis & Sophia Hovener House is a distinctive example of stone construction; specifically quarried stone construction. Quarried stone and fieldstone construction was often employed by Wisconsin's German immigrant population, which was the ancestral heritage of both Louis and Sophia. The most popular period of stone construction in the state spanned the mid-to-late-nineteenth century and, in Southeastern Wisconsin, the nearby Cedarburg area was a good source of quality dressed stone. Built in 1890, the subject house features coursed, quarried stone with liberally applied mortar on the primary elevation of its wing, as well as on its side and rear elevations, while the primary façade of the main block exhibits dressed, cut stone with thin mortar joints. Additional notable elements of its construction include stone quoining, window hoods and sills, and a primary façade water table, all of which feature a tooled finish. While a modern stone garage has been constructed on the southeast corner of the Hovener House in 2006, it is placed behind the side elevation bay and does not obscure this or the rear elevations. As well, it is accessed on the interior through a doorway, thereby leaving this corner of the house largely intact. Indeed, the overall integrity of the subject house is good as it retains most of its original fenestration and its original primary elevation wooden porch. Based on this information, as well as comparing the house to similarly constructed examples in the surrounding area, the Louis & Sophia Hovener House is considered eligible under Criterion C as a very good and intact example of stone construction.

Historical Background:

The general history and agricultural character of Ozaukee County and Grafton Township is discussed in the *History of Washington and Ozaukee Counties, Wisconsin* (1881). Briefly summarized, the area now known as Ozaukee County was originally part of Washington County, which was established by the Wisconsin Territorial Legislature on 7 December 1836. Ozaukee County was separated from Washington County in 1853 and includes Grafton Township, which was established on 26 January 1846.³

By 1860, approximately twenty years after the first settlements, farmland accounted for more than half the total acreage of Ozaukee County. Wheat remained the principal cash crop until later in the nineteenth

³ *History of Washington and Ozaukee Counties, Wisconsin: Containing an Account of Its Settlement, Growth, Development and Resources* (Chicago: Western Historical Co., 1881), 309, 526.

century, when the influx of wheat produced in the states west of the Mississippi River began to depress the market for Wisconsin wheat. Corn and oats continued to be grown in Ozaukee County through the 1940s, with corn production rising steadily after 1860 and oat production plateauing around 1900. Barley production fluctuated in response to the regional brewing industry's demand, spiking in 1910 and dropping throughout the Prohibition era. A rise in flax production during World War II subsided quickly only to surge in 1947 as a result of government price supports. Never a large crop in Wisconsin, flax production was largely confined to Ozaukee County and the southern portion of neighboring Sheboygan County. The rise of the dairy industry in Ozaukee County in the later nineteenth century reflected statewide agricultural trends. By 1909, the Town of Grafton featured two creameries and a cheese factory. In 1944, approximately ninety percent of the land in Ozaukee County was used for agriculture with dairy farming accounting for two-thirds of its farms. Agricultural production in the county decreased in the latter part of the twentieth century in response to growth in neighboring Milwaukee County and the construction of Interstate 43, which has spurred both commercial and residential development.⁴

In terms of settlement, the first arrivals to the area were generally Americans, largely from New York and Ohio. Early immigrants featured those of English, Irish and German nationalities, including a colony of German Lutherans – known as the Freidstadt Colony – who settled in the western portion of Mequon Township in 1839. Shortly thereafter, the German influx into Ozaukee County increased and, as early as 1850, they were the largest immigrant group in the area. This mirrored a statewide trend where, by 1860, Wisconsin's 123,879 Germans were its largest foreign-born nationality with their heaviest concentration of settlement found in the eastern portion of the state south of Green Bay. By 1880, the population of Ozaukee County was 16,455; of which, Germans and Luxembourgers comprised seven-eighths, while the remaining population consisted of Americans, Norwegians and Irish.⁵

Resource-Specific History:

Born 9 June 1845 in Hannover, Germany, Louis Hovener immigrated to the United States four years later in 1849. His wife, Sophia (nee Viesselmann) was a first-generation American citizen (Wisconsin-born), although both her parents were also natives of Hannover. They married in 1871 and purchased the subject property in 1874. By 1880, the couple had three children: Henry, William and Louisa, although only the sons would survive to adulthood. They built the subject house in 1890.⁶

In 1878, Louis added more land to his farm increasing its acreage from the original 158 acres to 233 acres. In addition to his substantial house, other signs of his success included the fact that he owned his farm free of mortgage and was able to hire servants who are intermittently listed amongst the household.

⁴ *A Century of Wisconsin Agriculture, 1848-1948* (Madison: Wisconsin Department of Agriculture, 1948), 15, 31-33, 35, 50, 74; *History of Washington and Ozaukee Counties, Wisconsin*, 529; *Biennial Report of the Dairy and Food Commissioner of Wisconsin for the Two Years Ending June 30, 1908* (Madison: Dairy and Food Commissioner, 1909), 206.

⁵ *History of Washington and Ozaukee Counties, Wisconsin*, 324, 473, 474; Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 Vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 1, Settlement, 2-2, 2-4, 2-8.

⁶ United States Department of Commerce, Bureau of Census, *Tenth Federal Census of the United States, 1880, Population* (Washington, D.C.: Government Printing Office), Copy Accessed online at www.ancestry.com on 27 February 2013; USDC.BC, *Fourteenth Federal Census of the United States, 1920, Population*, Copy Accessed www.ancestry.com; Tax Rolls, Town of Grafton, 1870-1950.

Following his death in 1931 and Sophia's in 1936, the property is identified with their son Henry and his wife Maria into the mid-twentieth century. No information regarding the Hovener family was found in the 1881 published history of Ozaukee County, nor was an obituary found for Louis in the weekly Cedarburg newspaper. Formerly featuring a flat roof, Henry and Maria added the hipped roof to the house in 1939. Their daughter Louisa subsequently owned the property before selling it to the current owners, Marko Musich & Jane Hamilton, in 1995 who added the garage addition in 2006. They operate The Family Farm of Ozaukee County, LLC on the property, which is a seasonal agribusiness consisting of a farm animal zoo, antique agricultural tool display, nature trails and wagon rides. The Hovener House also hosts visitors as it serves as their bed & breakfast.⁷

Farmstead:

While the property retains some of its historic period agricultural buildings, including its granary, hog & chicken barn, milk house and corn crib, its large, historic primary barn was destroyed by fire in 2007 and the extant building constructed on its foundation in 2008 serves as a banquet hall and event space. As well, the circa 1930 machine shed has been remodeled into the admission building of The Family Farm agribusiness and includes a gift shop and café. Finally, a modern shed was built on the property in 2005. As a result of this information, eligibility could not be established as a good example of the farmstead property type. Note that a 1937 aerial photograph reveals that the farmstead buildings did not historically extend beyond the primary barn. While a number of animal pens and shelters, playground equipment and a modern, concrete block restroom building are currently sited east of the 2008 banquet hall building (constructed on the former foundation of the primary barn), these structures are associated with the existing Family Farm agribusiness and, therefore, have been drawn out of the historic boundary (see the 1937 and existing aerial photographs of the Hovener property included in this report. Additionally, reference photos #14 & 15 of 19 show these Family Farm-associated structures).⁸

Architecture:

The most popular period of stone construction in the state spanned the mid-to-late-nineteenth century. Although quarried stone and fieldstone are visually distinct, both methods of construction share similar characteristics. Notably, the common occurrence of stone combined with the building traditions of Wisconsin's early settlers led many European immigrant groups to utilize stone in the construction of their residences, barns, churches, and commercial buildings. Specifically, German and Irish immigrants frequently built utilizing fieldstone. The highest concentration of fieldstone structures in Wisconsin is found in the southeastern portion of the state, where German and Irish settlement was prominent. As well, German immigrants also employed quarried stone construction early in their settlement history as seen with the David's Star Evangelical Lutheran Kirche in Jackson Township, Washington County (AHI #14058, built 1856). In Southeastern Wisconsin, the nearby Cedarburg area was a good source of

⁷ USDC.BC, *Twelfth Federal Census of the United States, 1900, Population*, Copy Accessed www.ancestry.com; C.M. Foote and J.W. Henion, *Plat Book of Washington and Ozaukee Counties, Wisconsin* (Minneapolis, MN: C.M. Foote & Co., 1892); *Plat Book of Ozaukee County, Wisconsin*, 1939 (Copyright 1998 Ozaukee County Historical Society); *Ownership Plat Book of Ozaukee County, Wisconsin* (Milwaukee: Marathon Map Service, 1948); Tax Rolls, Town of Grafton, 1870-1950; Musich & Hamilton, Conversation with McQuillen, 14 March 2013.

⁸ Wisconsin Historic Aerial Imagery Collection, Maintained by the University of Wisconsin-Madison Geography Library, Available online at <http://maps.sco.wisc.edu/WHAIFinder/>, Accessed June 2013.

quarried and quality dressed stone. Additionally, the *History of Washington and Ozaukee Counties, Wisconsin* (1881) notes that quarries were operating in several places in Ozaukee County, specifically mentioning large quarries near Saukville and Port Washington. It also mentions that building materials were plentiful in the area. Sand was abundant and easily accessible, limestone was found at various points throughout the county and good quality sandstone was located along the Milwaukee River.⁹

The Louis & Sophia Hovener House is a very good and intact example of stone construction. It features coursed, quarried stone with liberally applied mortar on the primary elevation of its wing, as well as on its side and rear elevations, while the primary façade of the main block exhibits dressed, cut stone with thin mortar joints. Additional notable elements of its construction include stone quoining, window hoods and sills, and a primary façade water table, all of which feature a tooled finish. Finally, the house retains most of its original fenestration, as well as its primary elevation wooden porch, which is composed of turned posts, decorative brackets and a spindlework frieze (see the historic photograph of the Louis & Sophia Hovener House included in this report). Admittedly, while a visually prominent, modern stone garage has been constructed on the southeast corner of the Hovener House, it is placed behind the side (south) façade bay and does not obscure this or the rear elevations. As well, it is accessed on the interior through a doorway, thereby leaving this corner of the house largely intact.

The Wisconsin Historic Preservation Database (WHPD) features multiple subcategories for stone-constructed buildings including, “cut stone,” “fieldstone,” “limestone,” and “stone-unspecified.” Searching for comparison cut stone buildings in the surrounding area yielded three other cut stone buildings identified in the WHPD in Ozaukee County. Of these, a residence located in Saukville Township exhibits the same quarried stone construction and stone quoining as the Louis & Sophia Hovener House; however, it lacks the dressed, cut stone primary façade and stone window hoods found on the subject property, instead featuring brick window hoods (Comparison Property #1, 2595 County Highway I, AHI #13232). Located north of the Hovener House in Grafton Township, the Henry & Mary Hennings House is also a notable example of cut stone construction (Comparison Property #2, 754 N. Port Washington Road, AHI #222306). Built in 1884, the Hennings House similarly features coursed, quarried stone with liberally applied mortar on its secondary elevations and dressed, cut stone with thin mortar joints on its primary facade. Other shared architectural elements include window hoods and sills featuring a tooled finish and the use of stone quoining. A DOE has been prepared for the Hennings House, which considers it eligible as a very good and intact example of stone construction.

The only stone-constructed residence in the Town of Grafton, Ozaukee County that carries a historic designation (i.e. National Register-listed or determined eligible) is the fieldstone August Beck House, which was determined eligible in September 1999 (Comparison Property #3, 1884 N. Port Washington Road, AHI #13180). The Hovener House compares favorably with this property as it similarly features stone quoining and window hoods. However, the Hovener House features an even greater level of craftsmanship with its dressed, cut stone primary façade and water table. As well, it is a larger, more substantially built structure and, unlike the Beck House, it retains its original, primary elevation porch. Finally, outside of Ozaukee County, *Cultural Resource Management in Wisconsin* cites the aforementioned David's Star Evangelical Lutheran Kirche in Jackson Township, Washington County as a

⁹ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 4-6; *History of Washington and Ozaukee Counties, Wisconsin*, 473.

good example of quarried stone construction (Comparison Property #4, 2740 David's Star Drive, AHI #14058), yet it lacks the level of integrity of the subject house as it features a mid-1960s entrance addition on its primary façade. Based on this information, as well as the level of craftsmanship and integrity it possesses, the Louis & Sophia Hovener House is considered eligible under Criterion C as a very good and distinctive example of stone construction.¹⁰

¹⁰ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 4-6.

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*Wisconsin Historic Preservation Database. Maintained by the Wisconsin Historical Society, Division of Historic Preservation. Available online to the public at www.wisconsinhistory.org/ahi.

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		Date:	March 2013

TAX ROLL INFORMATION FOR LOUIS & SOPHIA HOVENER PROPERTY, 308 N. PORT WASHINGTON ROAD, TOWN OF GRAFTON, OZAUKEE COUNTY:

YEAR(S)	TOTAL VALUATION (RANGE)	VALUATION IMPROVEMENTS
1874-1877	\$1500	
1878	\$3264	
1879-1889	\$3100-\$3200	
1890-1891	\$2950-\$3050	
1892-1895	\$2800-\$2850	
1896-1899	\$3050	
1900	\$6550	
1901	\$6200	\$2300
1902	\$8100	\$2640
1903-1910	\$8060	\$2600
1915	\$8900	\$2600
1920	\$10300	\$3000
1925	\$10500	\$3200
1930		\$3200
1935		\$3200
1940		\$3600
1945		\$3600
1950		\$3900

General Notes:

Tax roll information was reviewed for each year from 1870-1910 (excepting 1884 & 1886 which were not found) and every five years from 1910-1950.

1874 is the first year that Louis Hovener is associated with the property in the tax rolls.

Throughout the late nineteenth and early twentieth centuries, tax roll records feature two entries for the Hovener property: 78 acres for the S½ NW¼ of Section 32 & 155 acres for the entire SW¼ of Section 32. Since the former parcel is the one that contains improvements (i.e. buildings) only the valuations for it are listed in the table above (the SW¼ never features a valuation for improvements for the tax roll years reviewed).

Although there is a significant increase in valuation from 1877 to 1878 and from 1899 to 1900, these increases appear to be widespread since additional property research revealed the same dramatic increases in those years for other properties in the Town of Grafton.

For tax purposes, properties within the Town of Grafton feature only a total valuation until 1901. At that point, separate valuations are given for the land and improvements with total valuation simply the sum of these two numbers.

Beginning in 1930, Henry Hovener separates 32 acres from the 78-acre parcel (this 32 acres is subsequently added to his brother, William Hovener's adjoining property). Henry continues to own the remaining 46 acres, which contains the buildings. Therefore, for simplicity sake, from 1930-1950 only the value of improvements is listed above.

PHOTOGRAPHS: All photographs of the Hovener House taken by Michael T. McQuillen in March 2013

(Note: a perspective photograph showing the relationship of the Louis & Sophia Hovener House to I-43 could not be taken due to the proximity of the house to the interstate)

LOUIS & SOPHIA HOVENER HOUSE (Primary [west] and south elevations)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #1 of 19

LOUIS & SOPHIA HOVENER HOUSE (Primary [west] and north elevations)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #2 of 19

LOUIS & SOPHIA HOVENER HOUSE (Rear [east] and north elevations)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #3 of 19

LOUIS & SOPHIA HOVENER HOUSE (Rear [east] elevation)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #4 of 19

LOUIS & SOPHIA HOVENER HOUSE (Primary [west] elevation detail – stone quoins)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southeast

Photo #5 of 19

LOUIS & SOPHIA HOVENER HOUSE (Rear [east] elevation detail – window sill inside enclosed porch)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #6 of 19

LOUIS & SOPHIA HOVENER HOUSE (Granary)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #7 of 19

LOUIS & SOPHIA HOVENER HOUSE (Hog & chicken barn)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #8 of 19

LOUIS & SOPHIA HOVENER HOUSE (Modern shed, corn crib and milk house)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to southwest

Photo #9 of 19

LOUIS & SOPHIA HOVENER HOUSE (2008 banquet hall building and concrete silo)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to east

Photo #10 of 19

LOUIS & SOPHIA HOVENER HOUSE (2008 banquet hall building and machine shed)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northwest

Photo #11 of 19

LOUIS & SOPHIA HOVENER HOUSE (Machine shed)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to northeast

Photo #12 of 19

LOUIS & SOPHIA HOVENER HOUSE (Modern wooden fence)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

June 2013

View to south

Photo #13 of 19

LOUIS & SOPHIA HOVENER HOUSE (Family Farm-associated animal pens & shelters; modern concrete block restroom building seen to the right)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to west

Photo #14 of 19 (reference photograph)

LOUIS & SOPHIA HOVENER HOUSE (Family Farm-associated animal pens & shelters and playground equipment)

308 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

View to south

Photo #15 of 19 (reference photograph)

COMPARISON PROPERTY #1 (House)

2595 County Highway I

Town of Saukville, Ozaukee County, WI

June 2013

Photo #16 of 19

COMPARISON PROPERTY #2 (Henry & Mary Hennings House)

754 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

March 2013

Photo #17 of 19

COMPARISON PROPERTY #3 (August Beck House)

1884 N. Port Washington Road

Town of Grafton, Ozaukee County, WI

March 2013

Photo #18 of 19

COMPARISON PROPERTY #4 (David's Star Evangelical Lutheran Kirche)

2740 David's Star Drive

Town of Jackson, Washington County, WI

June 2013

Photo #19 of 19

Photo #1 of 19



Photo #2 of 19



Photo #3 of 19



Photo #4 of 19



Photo #5 of 19



Photo #6 of 19



Photo #7 of 19



Photo #8 of 19



Photo #9 of 19



Photo #10 of 19



Photo #11 of 19



Photo #12 of 19



Photo #13 of 19



Photo #14 of 19



Photo #15 of 19



Photo #16 of 19

COMPARISON PROPERTY #1

AHI #13232



Photo #17 of 19

COMPARISON PROPERTY #2

AHI #222306



Photo #18 of 19

COMPARISON PROPERTY #3

AHI #13180



Photo #19 of 19

COMPARISON PROPERTY #4

AHI #14058



Historic Photograph of the Louis & Sophia Hovener House

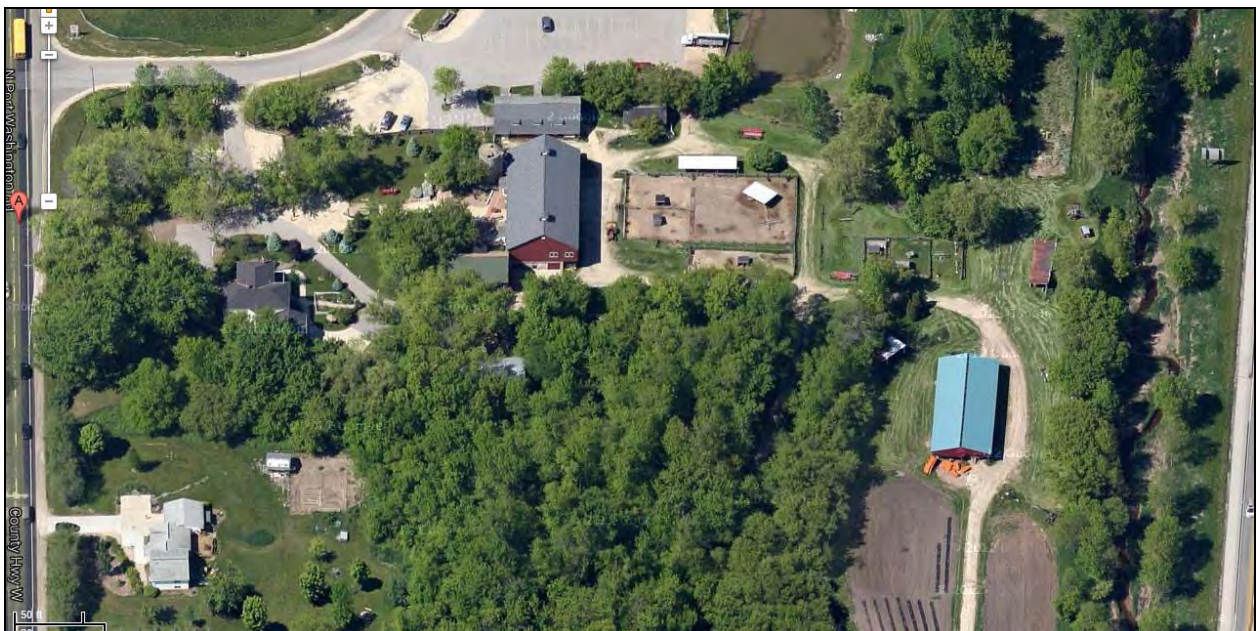


Circa-late-1890s photo. Photograph property of Marko Musich & Jane Hamilton, current owners of the Louis & Sophia Hovener House.

Louis & Sophia Hovener property – 1937 and existing



Wisconsin Historic Aerial Imagery Collection (1937)



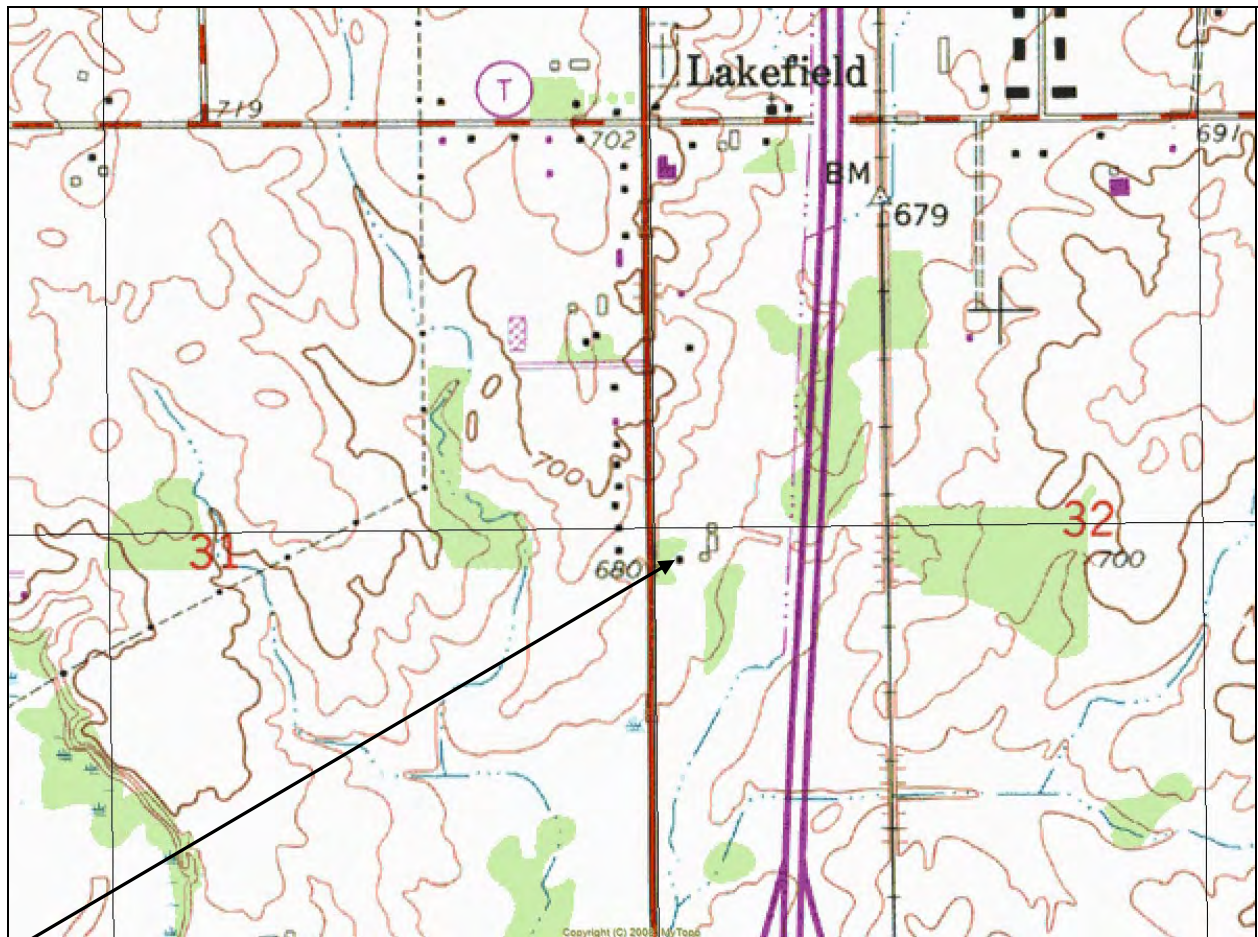
Google Maps



USGS Cedarburg

Wisconsin, Ozaukee County

7.5 Minute Series (Topographic)



Louis & Sophia Hovener House

308 N. Port Washington Road, Town of Grafton, Ozaukee County, WI

Zone 16 425043 Easting 4792943 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): North Shore Water Filtration Plant

Address/Location: 400 W. Bender Road

City & County: City of Glendale, Milwaukee County **Zip Code:** 53217

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1961-1963, 1972

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input type="checkbox"/> private	X building(s)	-->	1	1
X public	site	-->		
If public, specify:	structure	-->	2	
North Shore	object	-->	1	1
Water	district	Total:	4	2
Commission				

Function/Use:Historic Function(s): GOVERNMENT: Public WorksCurrent Function(s): GOVERNMENT: Public Works**Architectural Style(s):** MODERN MOVEMENT**Criteria:**

<input type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1961-63, 1972</u>
X C (architecture/eng.)	Significant Dates:	<u>1961-63, 1972</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	<u></u>
	Cultural Affiliation:	<u>N/A</u>
	Architect/Builder:	<u>Consoer, Townsend & Associates (engineers)</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	X G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:	Approximately 8.95 acres		
UTM Reference:	16	425621	4775476
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is an irregular polygon. Beginning at the northwest corner of the property and proceeding clockwise the boundary measures approximately 485 feet by 445 feet by 200 feet by 240 feet by 550 feet by 15 feet by 85 feet by 145 feet by 45 feet by 590 feet. The long-center axis is parallel to Interstate Highway 43 (I-43).

Boundary Justification:

The historic boundary reflects the property's current lot lines, the parcel of which is otherwise known as: COM 66' E OF SW COR OF N 1/2 OF NE 1/4 SEC. 29-8-22; TH N45'; E 85'; N 145'; E45.89'; N 586.73' TO S LI OF C & NW TRANS. CO. R.O.W. THELY 491.12' ALG SD R.O.W. TO A PT ON THE WLY R.O.W. LI OF THE NORTH-SOUTH FREEWAY THSLY 450.90'; SWLY 206.15'; SLY 264.40' ALG.

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject property was identified as potentially eligible as an intact example of a mid-twentieth-century public services building. Research for this Determination of Eligibility involved reviewing records obtained at the facility including the publications, *North Shore Water Filtration Plant* and *History and Development of the North Shore Water Utility*. The Milwaukee County Historical Society Research Library and Milwaukee Public Library Humanities Room were also consulted and a site visit was conducted. As a result of this research, the North Shore Water Filtration Plant is considered eligible for the National Register of Historic Places as a highly intact and distinctive example of Contemporary architecture.

Narrative Description:

The North Shore Water Filtration Plant is located on the northwest corner of W. Bender and N. Jean Nicolet roads in the City of Glendale, Milwaukee County. It is found approximately 170 feet west of Interstate 43 (I-43). The property is bordered on the north by the Chicago & North Western/Union Pacific Railroad, while an elevated section of I-43 parallels N. Jean Nicolet Road to the east. A modern residential development is located to the west and a neighborhood of predominantly one-and-one-half-story, mid-twentieth-century houses is found to the south. In addition to the filtration plant, the property includes underground settling basins and reservoirs to the north. As well, a fountain is located by the building entrance. The filtration plant, fountain, settling basins and reservoirs are considered eligible for the National Register, while a modern fence and a circa-1980 detached garage are non-contributing elements.

North Shore Water Filtration Plant (Contributing, 1961-63, 1972)¹:

This one-story, Contemporary-style water filtration plant is composed of a main block featuring slightly shorter wings on its primary, north, and rear elevations. The primary (east) façade of the main block exhibits a variegated stone veneer found between aluminum clerestory windows and ground-level, aluminum-frame, opaque panels (photos #2 & 7 of 12). A distinctive folded plate roof crowns this portion of the building. Projecting from this elevation to the east, the similarly styled entrance wing features floor-to-ceiling windows on its primary and north elevations. Continuing north along the primary façade, a one-story, brick, flat-roofed wing features regularly-spaced fenestration. These window openings contain single, aluminum-frame windows framed on the top and bottom by opaque panels. Above the window openings, stucco sheathes the upper portion of the elevation and under the eaves. A doorway and loading dock are found on the north façade of this wing (photo #3 of 12).

The wing projecting from the rear (west) elevation of the main block has an identical composition as the aforementioned wing and features a center, aluminum-frame entrance containing a door surrounded by glass panels (photos #4 & 5 of 12). This wing is setback from the south elevation of the main block, which exhibits the same stone veneer, clerestory windows and opaque panels seen on its primary facade (photos #6 & 7 of 12).

On the interior, much of the mechanical equipment and plant infrastructure is original. As well, the entrance area and corridor retains its original terrazzo floors, glazed tile walls, metal stair railings, light fixtures, and wall clocks (photos #10-12 of 12). Indeed, photographs of the water filtration plant included in the *North Shore Water Filtration Plant* publication produced at the time of its opening in 1963 reveal that much of the facility is virtually unchanged (see photographs from *North Shore Water Filtration Plant* included in this report).

Alterations to the building consist of the two-bay addition built in 1972 on the rear (west) elevation wing in order to add filters on the interior. This expansion was planned in the original plant design (see historic aerial view included in this report).

¹ *North Shore Water Filtration Plant* (Milwaukee: Moebius Printing Company, 1963), inside back cover; Eric Kiefer, Manager, North Shore Water Filtration Plant, Conversation with Michael T. McQuillen, 25 March 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

Fountain (Contributing, 1961-63):

A fountain outlined by a low, stone-veneered wall is located by the entrance on the primary (east) façade (photo #8 of 12).

Settling Basin (Contributing, 1961-63, 1972):

Underground settling basins are found north of the filtration plant (photo #4 of 12). The 1972 facility expansion increased the number of settling basins from three to five. The settling basin area is counted as one resource in the resource count.

Reservoir (Contributing, 1961-63, 1972):

Underground reservoirs are located north of the settling basin area. The 1972 facility expansion increased the number of reservoirs from two to four. The reservoir area is counted as one resource in the resource count.

Garage (Non-Contributing, circa 1980):

Resting on a concrete slab, a one-story, hipped-roof, two-bay garage is found by the parking area north of the filtration plant (photo #9 of 12).

Fence (Non-Contributing, modern):

A modern fence outlines the settling basin and reservoir areas (photos #4 & 9 of 12).

CRM Context Chapters:

ArchitectureGovernment²**Statement of Significance:**

The North Shore Water Filtration Plant was evaluated for the National Register under Criteria A, B and C. Located in the City of Glendale, this suburban community was incorporated in 1950 and its most significant period of population growth occurred during that decade. Considering the subject plant was placed in service on 10 April 1963, the development of Glendale cannot be attributed to the supply of water from the plant. As a result, significance could not be substantiated under Criterion A. As well, no evidence was found to suggest eligibility under Criterion B. However, in terms of Criterion C, the plant is a highly intact and notable example of Contemporary architecture. Exhibiting such distinctive exterior features as a folded plate roof and aluminum clerestory windows, the facility compares favorably with similarly designed properties that have been identified as potentially eligible in recently completed historical and architectural community surveys. Furthermore, the building possesses an extremely high degree of integrity retaining its massing, materials, and fenestration on the exterior and terrazzo floors, glazed tile walls, metal stair railings, and light fixtures on its interior. Finally, a small addition was built on the rear elevation of the filtration plant in 1972. As well, the number of underground reservoirs and settling basins were increased at that time. This expansion was planned as part of the original plant design. Based on this information, the North Shore Water Filtration Plant is considered eligible under Criterion C: Architecture with regard to Criterion Consideration G for properties that have achieved significance within the last fifty years.

Historical Background:

The general history of the City of Glendale is found in *Glendale, Wisconsin: Rich Past, Bright Future, 1950-2000* (2000). Briefly summarized, the City of Glendale was incorporated 28 December 1950 from a portion of the Town of Milwaukee. Residential development in Glendale occurred at a rapid pace in the 1950s, the result of a demand for housing following World War II and the national trend toward suburbanization. This growth is reflected in its population, which increased from 3,152 residents in 1950 to 10,432 in 1960. While the community continued to grow throughout the 1960s, the pace of development was not as great as experienced in the prior decade and, by the late 1960s, most available land in the city had been developed. Glendale's population stood at approximately 14,000 in 1970 and was 12,872 in 2010.³

The North Shore Water Filtration Plant has its origins in the history of poor relations occurring over the first half of the twentieth century between the City of Milwaukee and its suburbs in terms of the municipal water supply. Milwaukee used the supply of water as a means to pressure communities to support annexation to the city. This was attempted with the communities of Whitefish Bay and Fox Point in 1928 and 1931, respectively. These attempts failed and, although the communities subsequently signed contracts with Milwaukee to be supplied with water, rates were a constant source of tension. This resulted

² Water utilities are listed as a resource type under the *Cultural Resource Management* 'Government: Local Government' context chapter; however, no further discussion is offered regarding this type of resource [Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, 1986), Vol. 1, Government, 9/13].

³ Robert R. Morris, *Glendale, Wisconsin: Rich Past, Bright Future, 1950-2000* (Glendale, WI: 50th Anniversary Committee, 2000), 62, 73.

in multiple court proceedings. Indeed, as early as 1921, the Wisconsin Supreme Court ruled against the city for arbitrarily raising its water rates to the suburbs. The issue was ongoing and lawsuits over perceived discriminatory rates brought by the suburbs against Milwaukee continued from the 1930s into the 1950s. The city was constrained by its “cheap water” policy, which sought to keep the price of water low in order to attract industry, as well as water department contributions to the general city fund. These factors made it difficult for Milwaukee to expand its water system and maintain reliable service to the suburbs.⁴

As early as 1933, the villages of Shorewood, Whitefish Bay, and Fox Point all voted in favor of creating their own utility to supply water. This effort, and another like it in 1941, never came to fruition; however, in 1957, the City of Glendale and villages of Whitefish Bay and Fox Point reached an agreement to create their own water facility. The joint enterprise is administered by the North Shore Water Commission, which consists of a representative and alternate from each of the three municipalities. This organization was declared legal by the Wisconsin Supreme Court since it did not technically constitute a utility because the plant supplied water to the municipalities and not directly to individual customers (the City of Milwaukee fought the effort by claiming the action did constitute a utility that would duplicate facilities and unlawfully compete with their role as a utility in Whitefish Bay and Fox Point). Indeed, the agreement dated 26 November 1957 for this water supply system stated:⁵

the above named municipalities... have entered into this agreement for the purpose of construction, owning as tenants in common in the proportions hereinafter provided, maintaining and operating the necessary plant and other facilities for withdrawing water from Lake Michigan, filtering, treating and delivering the same under pressure to each of the above name municipalities for distribution by each of said municipalities to its respective consumers through the separate distribution systems owned by each municipality.⁶

Resource-Specific History:

Although the three municipalities reached their agreement in 1957, litigation delayed the project and construction ultimately began on 20 June 1961. In addition to the subject water plant, project work included constructing a raw water intake and pumping station overlooking Lake Michigan at Klode Park in Whitefish Bay, as well as laying pipe to bring the raw water to the plant. After almost two years, the North Shore Water Filtration Plant was placed into service on 10 April 1963.⁷

In general, the functionality of the plant is as follows. The first step in treating the raw water from Lake Michigan is directing it to the underground settling basins where chemicals are added. These include alum, which acts as a coagulant; carbon to improve taste and odor; lime to soften the water; and fluoride for dental hygiene. The water is then pumped to the filters located inside the building where it seeps through layers of sand to remove remaining impurities. From there, the water is sent to the reservoirs to

⁴ Charles E. Beveridge, *History and Development of the North Shore Water Utility*, dated 24 November 1958, In possession of the North Shore Water Commission, 400 W. Bender Road, Glendale, WI, 2-7.

⁵ Ibid., 3, 5, 7-8; Charles E. Beveridge, *History of Water Supply in the Milwaukee Area* (Milwaukee: Metropolitan Study Commission, Committee on Metropolitan Functions, 1958), 158-159, 161. On 6 November 1956, Glendale held a referendum where 3,013 votes supported joining a Whitefish Bay/Fox Point water system and 658 votes were cast against this proposition [Beveridge, *History of Water Supply in the Milwaukee Area*, 158].

⁶ *Agreement for Water Supply System, City of Glendale, Village of Whitefish Bay and Village of Fox Point*, dated 26 November 1957, In possession of the North Shore Water Commission, 400 W. Bender Road, Glendale, WI.

⁷ *North Shore Water Filtration Plant*, 3, 4, 23, inside back cover.

be delivered for consumption. The North Shore Water Filtration Plant was designed to be able to be operated by a single person.⁸

In 1972, an expansion of the facility included a modest addition built on the rear (west) elevation of the water filtration plant. This addition increased the number of filters on the interior from six to eight. As well, outside of the building, the number of reservoirs were increased from two to four and settling basins were increased from three to five. This expansion was planned when the plant was originally constructed (see historic aerial view included in this report). The detached garage on the property was built circa 1980.⁹

Considering that most growth in the community of Glendale occurred prior to the opening of the North Shore Water Filtration Plant and given the fact that Whitefish Bay and Fox Point simply changed their water supplier from the City of Milwaukee to the North Shore Water Commission, significance could not be substantiated under Criterion A.

Architecture:

The North Shore Water Filtration Plant was designed by the Chicago-based engineering consulting firm Consoer, Townsend & Associates. Some of their notable projects in Chicago include Ravenswood Hospital; Meigs Field Terminal & Air Traffic Control Tower; the School of Nursing at St. Mary of Nazareth Hospital; and the first O'Hare Airport airplane bridge. Nationally, they were involved in the design of the infrastructure for the municipality of Columbia, Maryland and an expressway between Richmond and Petersburg, Virginia, which was one of the first major highways in the United States. As well, the firm also designed water treatment plants in Nassau County, New York; East Chicago, Indiana; and San Jose, California. Consoer, Townsend & Associates was founded by George O. Consoer. A member of Phi Beta Kappa and several engineering societies, he obtained his degree in civil engineering from the University of Illinois in 1917. Upon graduation, Consoer enlisted in the Army Corps of Engineers and became a lieutenant in World War I. He died in December 1988. An associated architectural firm, Consoer & Morgan included principal Harry S. Morgan. Morgan graduated from Iowa State University with a degree in civil engineering in 1940 and joined Consoer, Townsend & Associates following World War II. He died on 20 January 2012. Consoer, Townsend & Associates continues to operate under the name Consoer Townsend Envirodyne Engineers (CTE), a division of AECOM Technology Corporation. A search of the Wisconsin Historic Preservation Database (WHPD) revealed only one other previously surveyed property in the state identified with the firm, namely, the Stevens Point Water Treatment Plant, which was built in 1940 in the Art Deco style using WPA funding (AHI #211042, 301 Bliss Street, Stevens Point).¹⁰

Built 1961-63, the subject facility is an example of Contemporary architecture; a designation that is used to describe any mid-twentieth-century building of distinction and potential historic interest whose identity or features cannot be ascribed to styles and forms of the past. The North Shore Water Filtration Plant is certainly a notable example of mid-century architecture. Designed by an engineering and architectural firm with a national reputation, it exhibits such distinctive exterior features as a folded plate roof and

⁸ Ibid., 8, 9, 14, 16, 18.

⁹ *North Shore Water Filtration Plant*, inside front cover; Kiefer, Conversation with McQuillen, 25 March 2013.

¹⁰ George O. Consoer, Obituary, *Chicago Tribune*, 19 December 1988; Harry S. Morgan, Obituary, *Northbrook Star* (a Chicago Sun-Times publication), 9 February 2012.

aluminum clerestory windows.¹¹

The *North Shore Water Filtration Plant* publication includes the following notations regarding the plant's architectural features:

The architecture of the building combines advanced framing methods in the folded plate roof with natural masonry materials anchoring the entire composition to the site. Glass is used to accent the various materials. The composition provides an effective blending of building components for an integrated design.¹²

Regarding the interior:

Structural glazed facing tile is used throughout the operational area walls to create a colorful working atmosphere and to assure minimum maintenance and upkeep.¹³

The WHPD did not reveal any Contemporary-style comparison properties within the immediate area. As well, with regard to the unique function of the subject plant, no other Contemporary-style utilities were identified. Casting a broader net, the best comparable properties found were the Christian Hansen Research Building (AHI #145822, 9015 W. Maple Street, City of West Allis, Milwaukee County) and Woodworth Junior High School (AHI #202141, 101 Morningside Drive, City of Fond du Lac, Fond du Lac County) (see photographs of these buildings included in this report). Constructed in 1961 and 1962, respectively, both buildings share a similar architectural vocabulary with the North Shore Water Filtration Plant, notably exhibiting folded plate roofs. Each of these properties has been identified as potentially eligible under Criterion C: Architecture as part of recent historical and architectural surveys of their respective communities. In terms of Woodworth Junior High School, the survey notes that it “stands as an almost cutting-edge example of early-1960s school architecture” due, in part, to its folded plate roof construction.¹⁴ The North Shore Water Filtration Plant compares favorably to the aforementioned examples sharing the same Contemporary-style architectural elements. Additionally, the subject facility features a very high degree of integrity. Indeed, photographs of the water filtration plant included in the *North Shore Water Filtration Plant* publication produced at the time of its opening in 1963 reveal that much of the facility is virtually unchanged (see photographs from *North Shore Water Filtration Plant* included in this report). In addition to retaining its exterior massing, materials, and fenestration, the interior integrity is outstanding with the building maintaining its terrazzo floors, glazed tile walls, metal stair railings, and light fixtures. Even the facility's Contemporary-style wall clocks are original. Based on this information, the North Shore Water Filtration Plant is considered eligible under Criterion C: Architecture.¹⁵

Summary:

The North Shore Water Filtration Plant is considered eligible under Criterion C: Architecture as a highly intact and distinctive example of Contemporary style architecture with regard to Criterion Consideration G.

¹¹ Wyatt, ed., *Cultural Resource Management in Wisconsin*, Vol. 2, Architecture, 2/37.

¹² *North Shore Water Filtration Plant*, back cover.

¹³ Ibid.

¹⁴ Heritage Research, Ltd., *Historical & Architectural Resources Survey, City of Fond du Lac, Fond du Lac County, WI* (Fond du Lac, WI: Fond du Lac Historic Preservation Commission, 2011), 49.

¹⁵ Heritage Research, Ltd., *Historical & Architectural Resources Survey, City of West Allis, Milwaukee County* (West Allis, WI: City of West Allis Historical Commission, 2007), 109.

Bibliography: An asterisk (*) denotes sources consulted but not cited.

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_____. *History of Water Supply in the Milwaukee Area.* Milwaukee: Metropolitan Study Commission, Committee on Metropolitan Functions, 1958.

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_____. *Historical & Architectural Resources Survey, City of West Allis, Milwaukee County.* West Allis, WI: City of West Allis Historical Commission, 2007.

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Email:	CKloser@HNTB.com	Zip:	53224
		Date:	March 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in March 2013

NORTH SHORE WATER FILTRATION PLANT (Perspective view showing relationship to I-43)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to south

Photo #1 of 12

NORTH SHORE WATER FILTRATION PLANT (East [primary] elevation)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to southwest

Photo #2 of 12

NORTH SHORE WATER FILTRATION PLANT (East [primary] & north elevations)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to south

Photo #3 of 12

NORTH SHORE WATER FILTRATION PLANT (North elevation rear wing & settling basin area)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to south

Photo #4 of 12

NORTH SHORE WATER FILTRATION PLANT (West [rear] elevation)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to east

Photo #5 of 12

NORTH SHORE WATER FILTRATION PLANT (South elevation)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to north

Photo #6 of 12

NORTH SHORE WATER FILTRATION PLANT (East [primary] & south elevations)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to west

Photo #7 of 12

NORTH SHORE WATER FILTRATION PLANT (Fountain)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to east

Photo #8 of 12

NORTH SHORE WATER FILTRATION PLANT (Garage)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to north

Photo #9 of 12

NORTH SHORE WATER FILTRATION PLANT (Interior – first floor stairway and corridor)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to east

Photo #10 of 12

NORTH SHORE WATER FILTRATION PLANT (Interior – reception area inside primary entrance)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to south

Photo #11 of 12

NORTH SHORE WATER FILTRATION PLANT (Interior – pump motor room)

400 W. Bender Road

City of Glendale, Milwaukee County, WI

View to south

Photo #12 of 12

Photo #1 of 12



Photo #2 of 12



Photo #3 of 12



Photo #4 of 12



Photo #5 of 12



Photo #6 of 12



Photo #7 of 12



Photo #8 of 12



Photo #9 of 12



Photo #10 of 12



Photo #11 of 12



Photo #12 of 12



Photographs from *North Shore Water Filtration Plant* (Milwaukee: Moebius Printing Co., 1963):



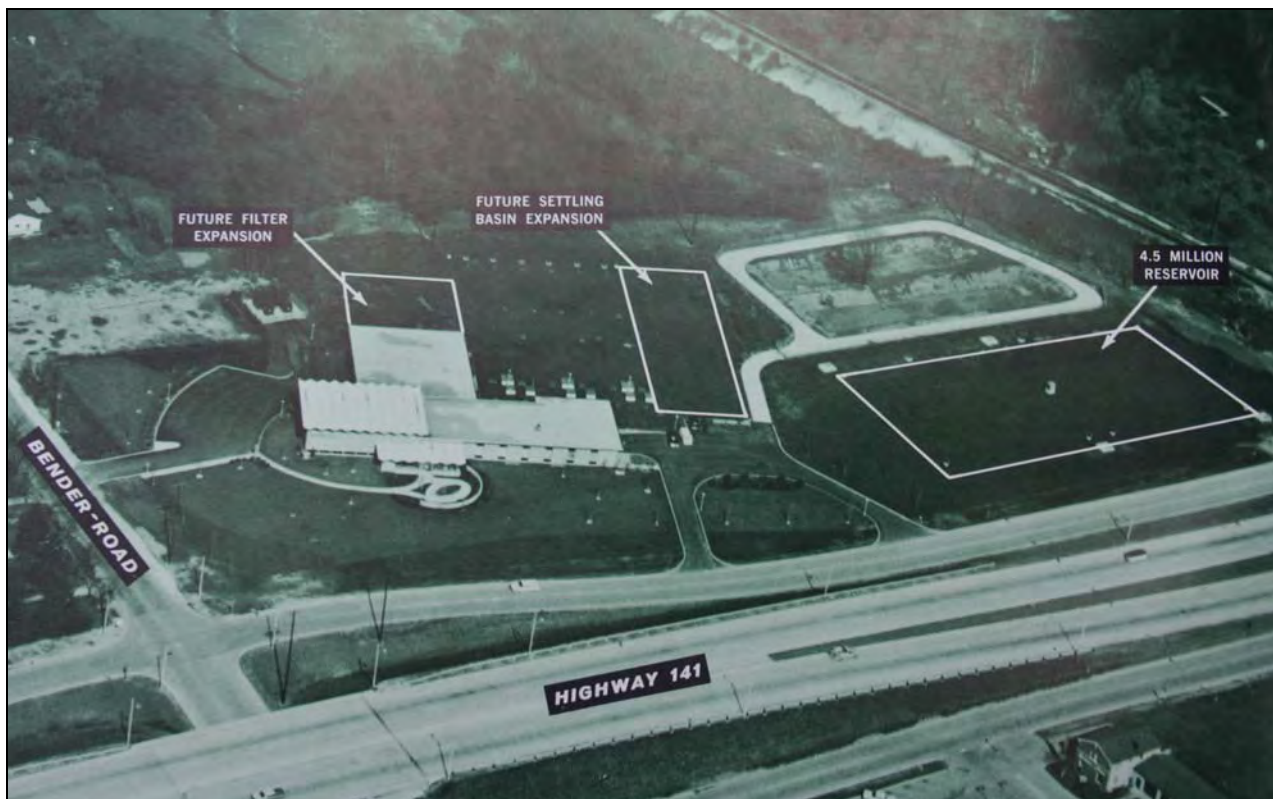
Publication Cover (compare to photo #7 of 12)



First floor stairway and corridor (compare to photo #10 of 12)



Pump motor room (compare to photo #12 of 12)



Aerial view of North Shore Water Filtration Plant property

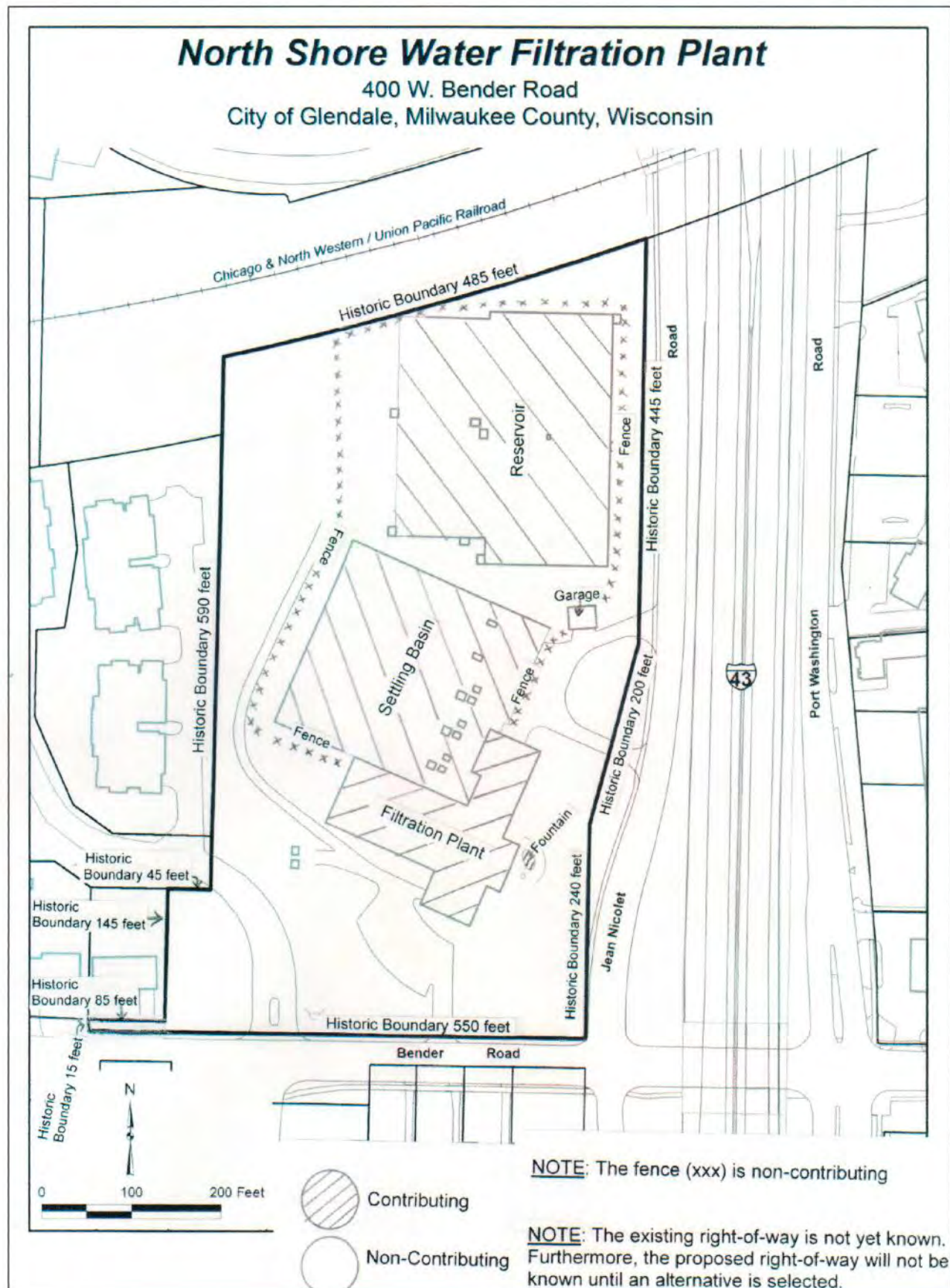
Comparison Contemporary architecture buildings in Wisconsin:



Christian Hansen Research Building, City of West Allis, Milwaukee County, AHI #145822, 9015 W. Maple Street, Photo taken 2007



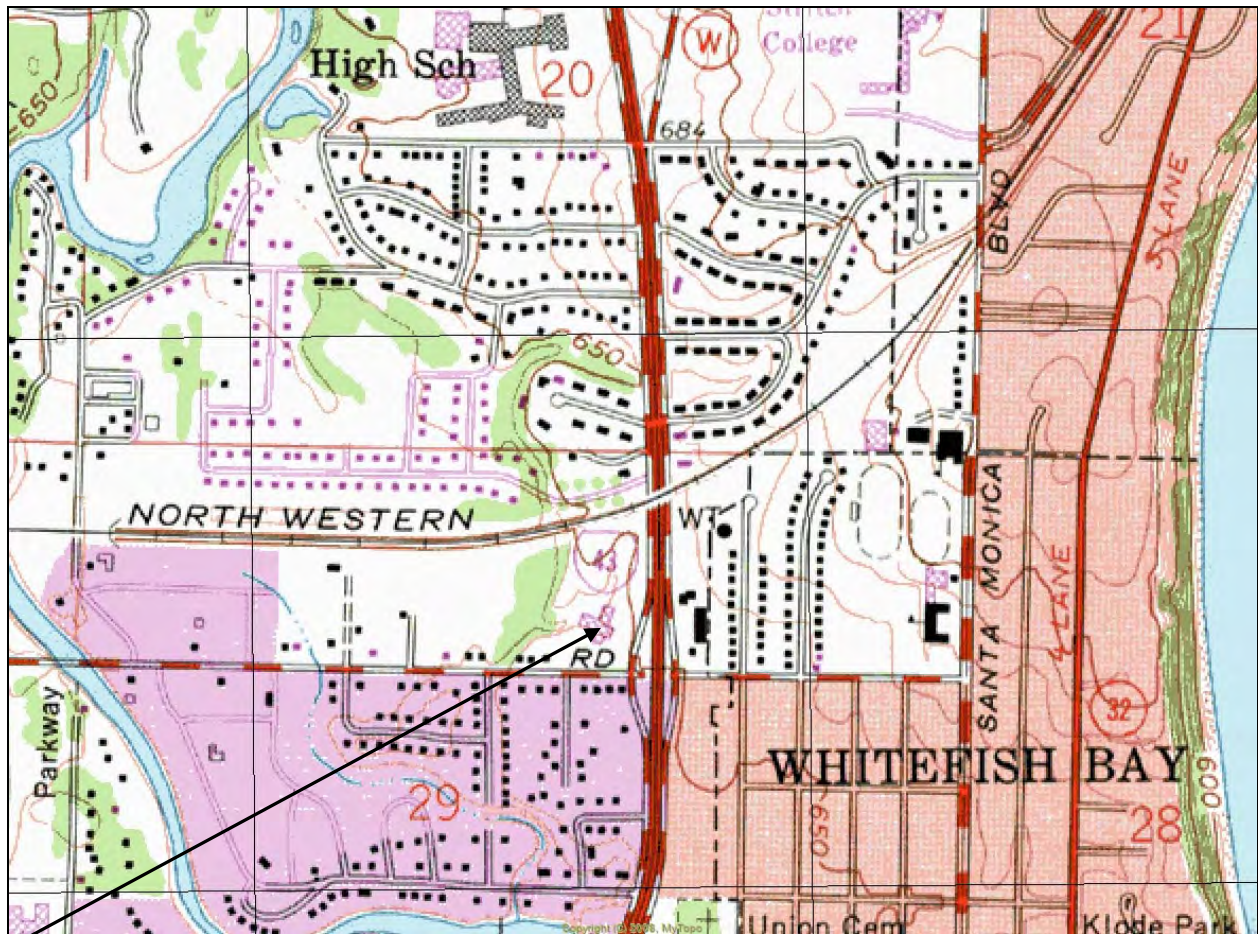
Woodworth Junior High School, City of Fond du Lac, Fond du Lac County, AHI #202141, 101 Morningside Drive, Photo taken 2010



USGS Thiensville

Wisconsin, Milwaukee County

7.5 Minute Series (Topographic)



North Shore Water Filtration Plant

400 W. Bender Road, City of Glendale, Milwaukee County, WI

Zone 16 425621 Easting 4775476 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): Phillips Petroleum Company Service Station

Address/Location: 7575 N. Port Washington Road

City & County: City of Glendale, Milwaukee County **Zip Code:** 53217-3420

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1966-67

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	1	
<input type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify:	<input type="checkbox"/> structure	-->		
	<input type="checkbox"/> object	-->	3	1
	<input type="checkbox"/> district	Total:	4	1

Function/Use:Historic Function(s): TRANSPORTATION: road-relatedCurrent Function(s): TRANSPORTATION: road-related**Architectural Style(s):** MODERN MOVEMENT**Criteria:**

<input type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1966-67</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1966-67</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	<u></u>
	Cultural Affiliation:	<u>N/A</u>
	Architect/Builder:	<u>Clarence F. Reinhardt (Phillips Petroleum Company architect)</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input checked="" type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

Property Info:

Acreage of Property:

1.125 acres

UTM Reference:

16

425815

4778177

Zone

Easting

Northing

Verbal Boundary Description:

The historic boundary of the property is an irregular polygon measuring approximately 200 feet by 245 feet by 205 feet by 235 feet. The long-center axis is perpendicular to Interstate Highway 43 (I-43).

Boundary Justification:

The historic boundary reflects the property's current lot lines, the parcel of which is otherwise known as: CERTIFIED SURVEY MAP #525 SE1/4 SEC 17-8-22 LOT 1

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject service station was identified as potentially eligible as an intact example of a standardized mid-twentieth-century gas station. Research for this Determination of Eligibility included reviewing *Fill'er Up: The Glory Days of Wisconsin Gas Stations*, which featured an entry on the property, as well as other contemporary publications that discussed the evolution of the American gas station. A *Society for Commercial Archeology (SCA) Journal* article addressing this particular type of Phillips Petroleum Company station titled, "Vanishing Points: Phillips' Postwar 'New Look' Service Stations" also was examined. The City of Glendale building file for the property was reviewed and contained the original building permit. A site visit was conducted and the current property owner provided information on the building. Finally, the Wisconsin Historic Preservation Database (WHPD) was searched for comparable Phillips stations. As a result of this research, the Phillips Petroleum Company Service Station is considered eligible under Criterion C as a highly intact and distinct example of a mid-twentieth-century gas station.

Narrative Description:

This Phillips Petroleum Company Service Station is located on the southwest corner of N. Port Washington and W. Calumet roads in the City of Glendale, Milwaukee County. It is found approximately two blocks east of Interstate 43 (I-43). Residential neighborhoods are located to the east and west, while a modern health club and office buildings are found immediately to the north and south along N. Port Washington Road, respectively. The subject building sits on an asphalt-paved lot featuring a grassy area behind the service station and grassy medians buffering the property from N. Port Washington Road. The Phillips Petroleum Company Service Station and three, free-standing light fixtures are contributing resources, while a modern sign is a non-contributing element.

Service Station (Contributing, 1966-67)¹:

This one-story, flat-roofed, concrete-block service station is composed of two service bays and a sales office (photos #1 & 3 of 7). The service bays feature original aluminum overhead garage doors containing multiple glass-panes. Set at an angle from the rest of the building, the service bay doors are recessed within their openings (photo #2 of 7). The sales office portion of the building is slightly shorter than the service bay block. It features large glass windows that are original to the building (photo #4 of 7). These windows slant forward at an angle from the wall plane and are held within aluminum frames. Entrances on the primary (east) and north elevations access the sales office. A large pointed canopy projecting upward at an angle from the sales office shelters the gas pumps. The canopy is supported by fabricated metal posts located adjacent to the modern pumps. The outer edges of the canopy's underside are lined with fluorescent lights. The rear (west) and south elevations of the building lack fenestration, although an additional entrance is located on the rear facade (photo #5 of 7).

The interior consists of a large open space within the service bays, while the sales office contains men's and women's bathrooms, as well as a storage area (photo #6 of 7). Cabinets sitting on the floor and a display case also are found within the sales area. (See the building plan showing the arrangement of interior space attached to this document).

Aside from repainting the building and replacing the original illuminated, rotating sign, the current property owner indicated that the subject station is intact.²

Light Fixtures (Contributing, 1966-67)³:

Three, free-standing light poles found on the property date to the time of the service station's construction (photo #7 of 7). Two of these flank the modern sign at the northeast corner of the property, while the other is found to the south by the N. Port Washington Road entrance.

¹ Original building permit, 7575 N. Port Washington Road, 6 October 1966, On file at Glendale City Hall, 5909 N. Milwaukee River Parkway, Glendale, WI.

² Karin Peter, Current owner of Phillips Petroleum Company Service Station, Conversation with Michael T. McQuillen, 16 April 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

³ Ibid.

Sign (Non-Contributing, modern):

A modern sign is located at the northeast corner of the property (photo #7 of 7). This sign replaced the original illuminated, rotating sign.

CRM Context Chapters: None⁴

Statement of Significance:

This Phillips Petroleum Company Service Station was evaluated for the National Register under Criteria A, B and C. No evidence was found to suggest eligibility under Criterion A or B. Regarding Criterion C, the subject building is a highly intact example of a mid-twentieth-century gas station featuring a soaring canopy. This unique standardized design produced by the Phillips Petroleum Company was developed by company architect Clarence Reinhardt who incorporated mid-twentieth-century angular forms – seen in drive-ins and the tail fins of Cadillacs – in his station design. As an example of the “small box with canopy” station form, this service station represents a distinct period in the evolution of gas station design, of which, few possessing this high degree of integrity remain. Based on the previous information, the subject Phillips Petroleum Company Service Station is considered eligible under Criterion C: Architecture with regard to Criterion Consideration G for properties that have achieved significance within the last fifty years.

Historical Background:

The Phillips Petroleum Company was incorporated on 13 June 1917 by brothers Frank and L. E. (Lee Eldas) Phillips and headquartered in Bartlesville, Oklahoma. At first heavily involved in the natural gas industry, Phillips opened its first petroleum refinery for the production of gasoline in 1927. That same year, it opened its first gas station in Wichita, Kansas. The company developed its trademark number 66 superimposed on the U.S. Highway symbol in 1930. This trademark was derived from U.S. Highway 66, which cut across the firm’s marketing area in the Midwest and Southwest. By the early 1960s, Phillips Petroleum was opening approximately 3,000 service stations per year.⁵

Resource-Specific History:

Built in 1966-67 by the Phillips Petroleum Company at an estimated cost of \$40,000, Heinz Peter began leasing this service station in May 1969. He ultimately purchased it in 1988 and his children are the current property owners. In addition to its soaring canopy, interesting elements of the station include its slanted windows, which were intended to diminish the reflection of headlight glare and also increase visibility of the interior. As well, the layout of the pump locations and service bays – set at an angle from the gas pumps – were designed to improve safety and traffic flow. This type of station originally featured two red harlequins – diamond-like symbols that were an additional Phillips logo – painted on the wall between the service doors and, as a result, they became known as Harlequin stations. The building’s existing red, white and blue exterior paint scheme, dating to when the station subsequently became a Marathon Oil Company dealer, is in keeping with the traditional red, white and gray colors used by the Phillips Petroleum Company. It should be noted that while many Phillips Harlequin stations had signage that pierced the point of the canopy, the current property owner indicates that the subject station did not

⁴ No applicable thematic chapter exists.

⁵ Christopher J. Castaneda, “Phillips Petroleum Company,” *Encyclopedia of Oklahoma History and Culture*, <http://digital.library.okstate.edu/encyclopedia> (accessed 14 February 2013); John A. Jakle and Keith A. Sculle, *The Gas Station in America* (Baltimore: The Johns Hopkins University Press, 1994), 40, 117.

and, instead, originally featured a free-standing, illuminated, rotating sign by the northeast corner of the property (see the 1970s aerial image of the property attached to this document).⁶

Architecture:

The standardized design of this station was developed by Phillips Petroleum Company architect, Clarence F. Reinhardt who based his plan on mid-twentieth-century culture and design. While butterfly canopies and slanted windows were an established part of the architectural vocabulary of the 1950s, Reinhardt appears to have been particularly inspired by early Los Angeles-area drive-in restaurants. Sent by Phillips on a fact-finding trip to Los Angeles in 1951 to investigate ways of increasing profits by integrating drive-ins and gas stations, Reinhardt reported that an essential element of drive-in success was eye-popping architecture. He specifically referenced an establishment named Tiny Naylor's, which featured a sweeping canopy that influenced his station design (see historic image of Tiny Naylor's and the early 1960s Phillips Petroleum Company Harlequin Service Station image attached to this document).⁷

Clarence Reinhardt was born in Bison, Kansas, on 10 January 1906. He attended Central Wesleyan College in Warrenton, Missouri, prior to receiving his Bachelor of Science degree in architectural engineering from Kansas State University in 1928. That same year, Reinhardt was first employed by the architectural firm Schmidt, Boucher & Overend of Wichita, Kansas, then moved on to work with architect Arthur D. Baker in Grand Island, Nebraska, before, ultimately, settling into his employment in the engineering department of the Phillips Petroleum Company. He would remain with Phillips for the rest of his career. Registered to work in over twenty states, Clarence Reinhardt was a member of the Tulsa, Oklahoma, chapter of the American Institute of Architects since 1955. He received a special recognition award from the American Petroleum Institute in 1969 and, by at least 1970, served as Phillips Petroleum project manager of sales, supply and transportation facilities. He designed Phillips' original Research and Development Center, as well as their remodeled Adams Building and Information Center Building. He also applied his architectural skills to the Bartlesville Community Center, the First Presbyterian Church (where he was a member) and many residential properties in Bartlesville, Oklahoma. Clarence Reinhardt died on 4 February 1993 at 87 years of age.⁸

In addition to being a highly intact example of its specific Phillips Petroleum standardized design, the subject station is also representative of a distinct period in the evolution of gas station design, namely, as a good example of the "small box with canopy" type of gas station. According to a chronological typology produced in 1994 by John Jakle and Keith Sculle, gas stations built between 1910 and 1990 can be categorized into twelve structural types/forms. The following is a brief overview of the types which led up

⁶ Original building permit, 7575 N. Port Washington Road, 6 October 1966; Peter, Conversation with McQuillen, 16 April 2013; Jim Draeger and Mark Speltz, *Fill'er Up: The Glory Days of Wisconsin Gas Stations* (Madison: Wisconsin Historical Society Press, 2008), 96; Michael Karl Witzel, *The American Gas Station: History and Folklore of the Gas Station in American Car Culture* (Osceola, WI: Motorbooks International Publishers, 1992), 83; Jakle and Sculle, *The Gas Station in America*, 42. Phillips originally utilized shades of orange and brown in their trademark prior to adopting red, white and gray.

⁷ Draeger and Speltz, *Fill'er Up*, 96; Cliff Leppke, "Vanishing Points: Phillips' Postwar 'New Look' Service Stations," *SCA Journal* 23, no. 1 (Spring 2005): 6-7.

⁸ *American Architects Directory*, 2nd ed. (New York: R. R. Bowker Co., 1962), 580; John F. Gane, ed., *American Architects Directory*, 3rd ed. (New York: R. R. Bowker Co., 1970), 754; Clarence Frederick Reinhardt, Obituary, *Bartlesville Oklahoma Examiner-Enterprise*, 7 February 1993.

to the development of the “small box with canopy” form.

The earliest “filling station” innovation was the mechanized curbside pump with an underground storage tank. Although short-lived in their urban existence due to the enactment of municipal fire safety ordinances, such facilities continued to serve the rural population.⁹

Although the majority of early gasoline outlets operated in conjunction with already existing businesses, a few did opt to sell gasoline only. In addition to the pump, a shack or shed was erected in order to house the station attendant, while other fueling facilities also provided temporary shelter for the customer’s vehicle as it was being refueled. While the first architect-designed station was built as early as 1913, most stations remained little more than utilitarian structures.¹⁰

Perhaps using the crude shed as a prototype, attempts were soon made to integrate stations into their neighborhoods. Consequently, they were designed to resemble small houses. A typical plan included small offices, a few storage areas and restrooms for public use. Many of these structures were of prefabricated construction and could be ordered by catalogue. These convenient mail-order offerings provided numerous plans, all of which utilized steel-frame construction and featured various types of sidings and ornamentation. The cost efficiency of these pre-fab buildings enabled oil companies to erect numerous look-alike outlets, thus strengthening the retail chain concept. A canopy added to the previous form introduces Jakle and Sculle’s fourth type of gas station design – “house with canopy.”¹¹

Stations offering extended services followed with the addition of single or multiple bays. These extensions could be easily attached to one end of the already existing form, with pre-1935 service additions generally adopting the architectural style of the original station.¹²

The 1930s introduced the next stage in the evolution of the gas station, following the International Style’s primary tenet of functionalism. Stripped of ornamentation and constructed of pre-fab steel, the oblong box became the common design concept; the interior space of which integrated office, storage and service bays. Porcelain enamel tile became a common sheathing material for stations during this period as it was inexpensive, durable and essentially maintenance-free. Rather than blending in with the surroundings, these stations were constructed to catch the eye of the motorist.¹³

The “small box with canopy” type station continued this trend of creating a gas outlet that would attract attention and the subject Phillips Petroleum Company Service Station would most appropriately be ascribed to this category in the evolution of station design. Interestingly, this Phillips Harlequin station defies some of the broader trends of its type. The first is concerning its canopy. Canopies had generally gone out of style in the Northeast and Midwest with the adoption of the oblong box due, in part, to the fact

⁹ Jakle and Sculle, *The Gas Station in America*, 134-36.

¹⁰ Ibid., inside rear jacket cover.

¹¹ Ibid., 137-42.

¹² Ibid., 142.

¹³ Ibid., 150; John Margolies, *Pump and Circumstance: Glory Days of the Gas Station* (Boston: Bulfinch Press, 1993), 96.

that winter weather added to canopy upkeep. The fact that the station was a standardized design of Phillips Petroleum explains the retention of a soaring canopy even in a northern climate. As well, after 1960, the adoption of canopies is often associated with independents (localized jobbers and small regional distributing companies). Phillips Petroleum, however, utilized its soaring canopy for the same purpose as independents – to be visually striking.¹⁴

The pendulum of public opinion, as well as corporate marketing, made the Phillips Harlequin design a relic in a relatively short period of time. By the late 1960s and early 1970s, gas stations were widely criticized as eyesores on the landscape reflecting, perhaps, growing disillusionment with the car culture. Advocates of the highway beautification movement championed stations that had the opposite effect of the subject station – instead of standing out, they wanted them to blend-in with their surroundings. Phillips began testing ranch-style stations as early as 1968 and, ultimately, created stations with higher and less pointed canopies. While Clarence Reinhardt opposed these changes, Phillips' marketing department supported a new station design. Reinhardt appears to have lost this internal battle when Phillips reorganized in 1969, which resulted in service station planning and design placed under the marketing department rather than the engineering department. In the 1970s, Phillips downsized its retail operations and either closed or significantly remodeled many of its Harlequin stations.¹⁵

In addition to being a good example of its type, the subject station possesses a high degree of integrity retaining its original massing, slanted windows, canopy, and canopy supports. Indeed, its distinctive canopy is rare today as many Phillips Petroleum Harlequin stations have been either significantly altered or razed. Adding credence to the rarity of this resource is the fact that a statewide search of the Wisconsin Historic Preservation Database (WHPD) revealed only two other similar Phillips Petroleum Company stations: AHI #137419, 408 S. Division Street, Colby, Marathon County and AHI #124621, 414 Albion Road, Albion, Dane County.¹⁶ While the former is quite intact retaining its original slanted windows and soaring canopy, the latter features a canopy that has been significantly truncated. Finally, although this Phillips Petroleum Company Service Station has not yet meet the National Register threshold of being in existence for fifty years, it will have reached that age by the time the associated project work which triggered this Determination of Eligibility is carried out. As well, its standardized design is fifty years old. Therefore, based on the previous information, the subject Phillips Petroleum Company Service Station is considered eligible under Criterion C: Architecture with regard to Criterion Consideration G for properties that have achieved significance within the last fifty years.¹⁷

¹⁴ Jakle and Sculle, *The Gas Station in America*, 153.

¹⁵ Leppke, "Vanishing Points: Phillips' Postwar 'New Look' Service Stations," 11.

¹⁶ Although a photograph of AHI #124621 is not included with its WHPD record, available online satellite imagery revealed its condition.

¹⁷ Draeger and Speltz, *Fill'er Up*, 96.

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*Wyatt, Barbara, ed. *Cultural Resource Management in Wisconsin*. 3 vols. Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986.

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		Date:	April 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in April 2013

(Note: a perspective photograph showing the relationship of the Phillips Petroleum Company Service Station to I-43 could not be taken due to the proximity of the facility to the interstate).

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Primary [east] elevation)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to northwest

Photo #1 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Primary [east] elevation)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to northwest

Photo #2 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Primary [east] and north elevations)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to southwest

Photo #3 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Primary [east] and north elevations)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to southwest

Photo #4 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Rear [west] and south elevations)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to northeast

Photo #5 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Interior – sales office)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to southwest

Photo #6 of 7

PHILLIPS PETROLEUM COMPANY SERVICE STATION (Exterior lights and modern sign)

7575 N. Port Washington Road

City of Glendale, Milwaukee County, WI

View to north

Photo #7 of 7

Photo #1 of 7



Photo #2 of 7



Photo #3 of 7



Photo #4 of 7



Photo #5 of 7



Photo #6 of 7



Photo #7 of 7



Early 1960s image of a Phillips Petroleum Company Harlequin Service Station (location unknown):



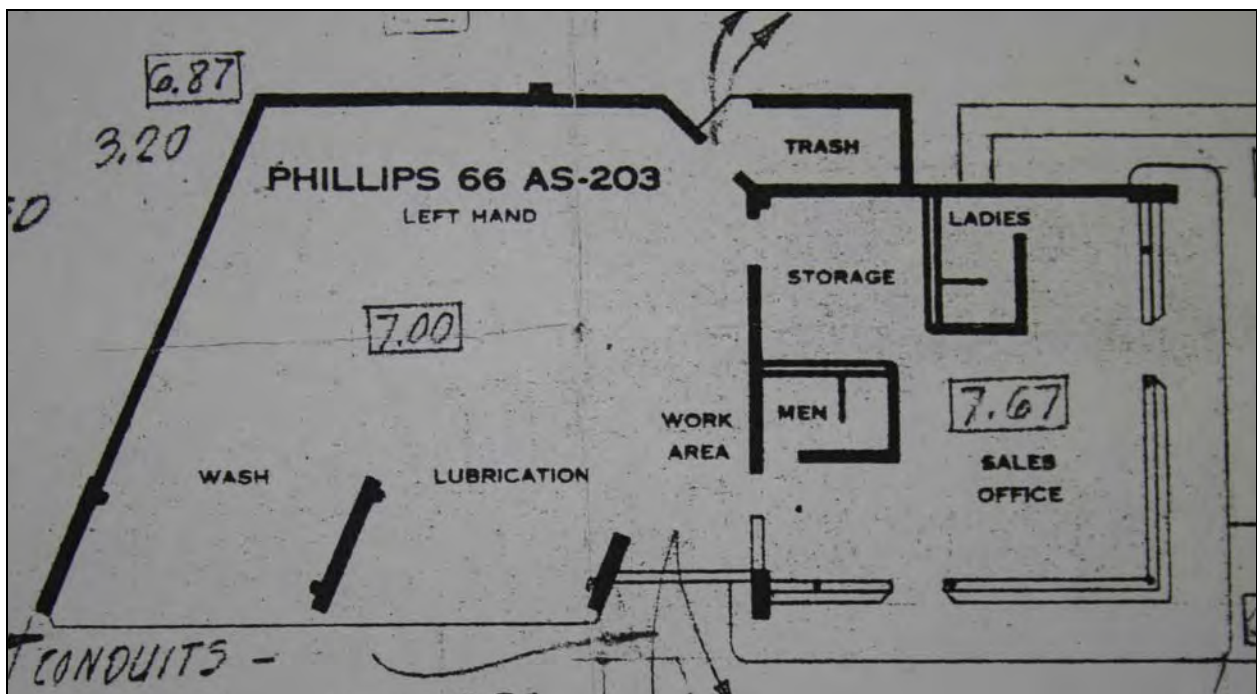
Cliff Leppke, "Vanishing Points: Phillips' Postwar 'New Look' Service Stations," Society for Commercial Archeology (SCA) Journal 23, no. 1 (Spring 2005): 4-5. (Image originally appeared in a Bright New designs brochure from the early 1960s)

1970s aerial image, Phillips Petroleum Company Service Station, 7575 N. Port Washington Road, City of Glendale, Wisconsin:



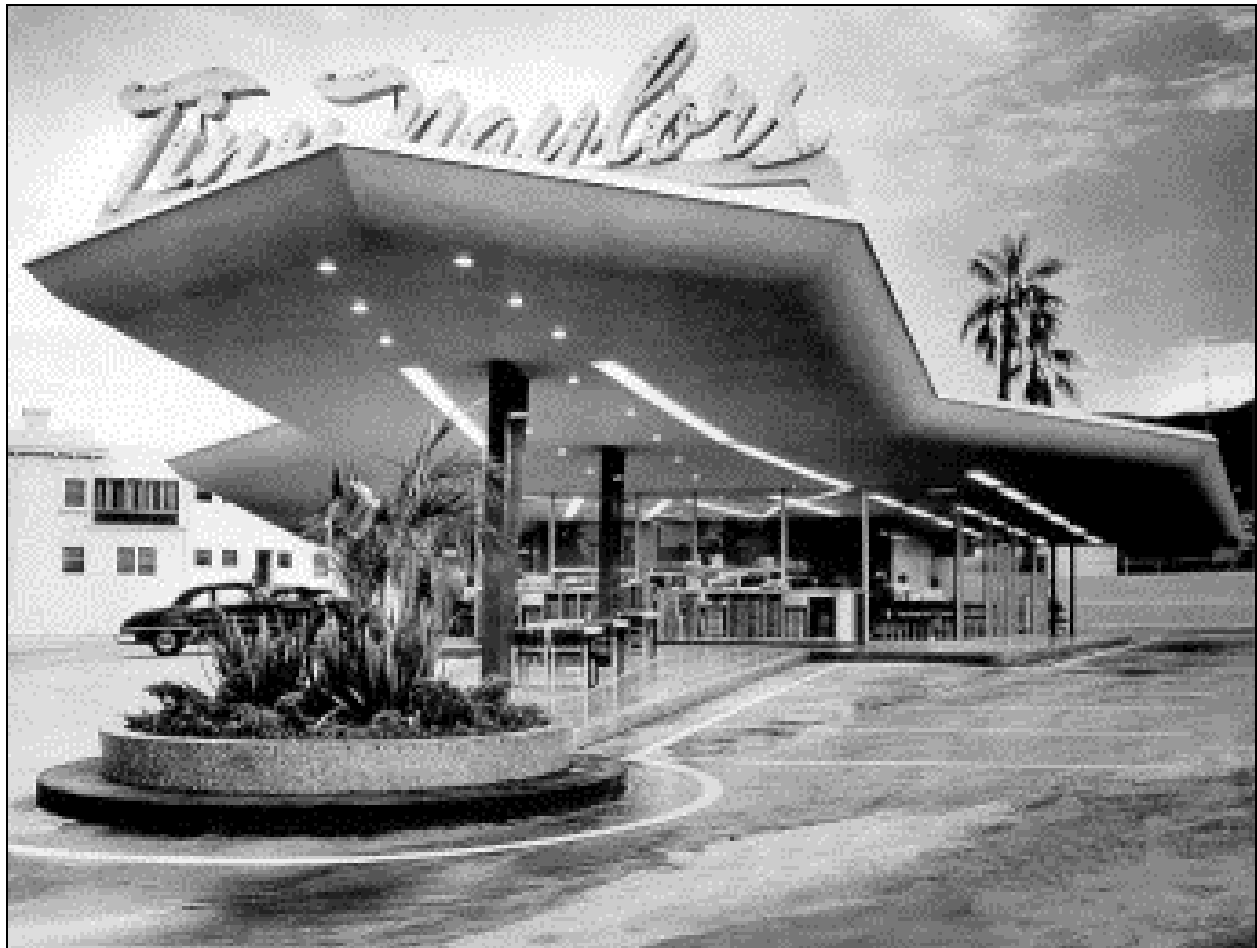
Aerial image in possession of current property owner Karin Peter. Note original sign by northeast corner of property (nonextant)

Building Plan:

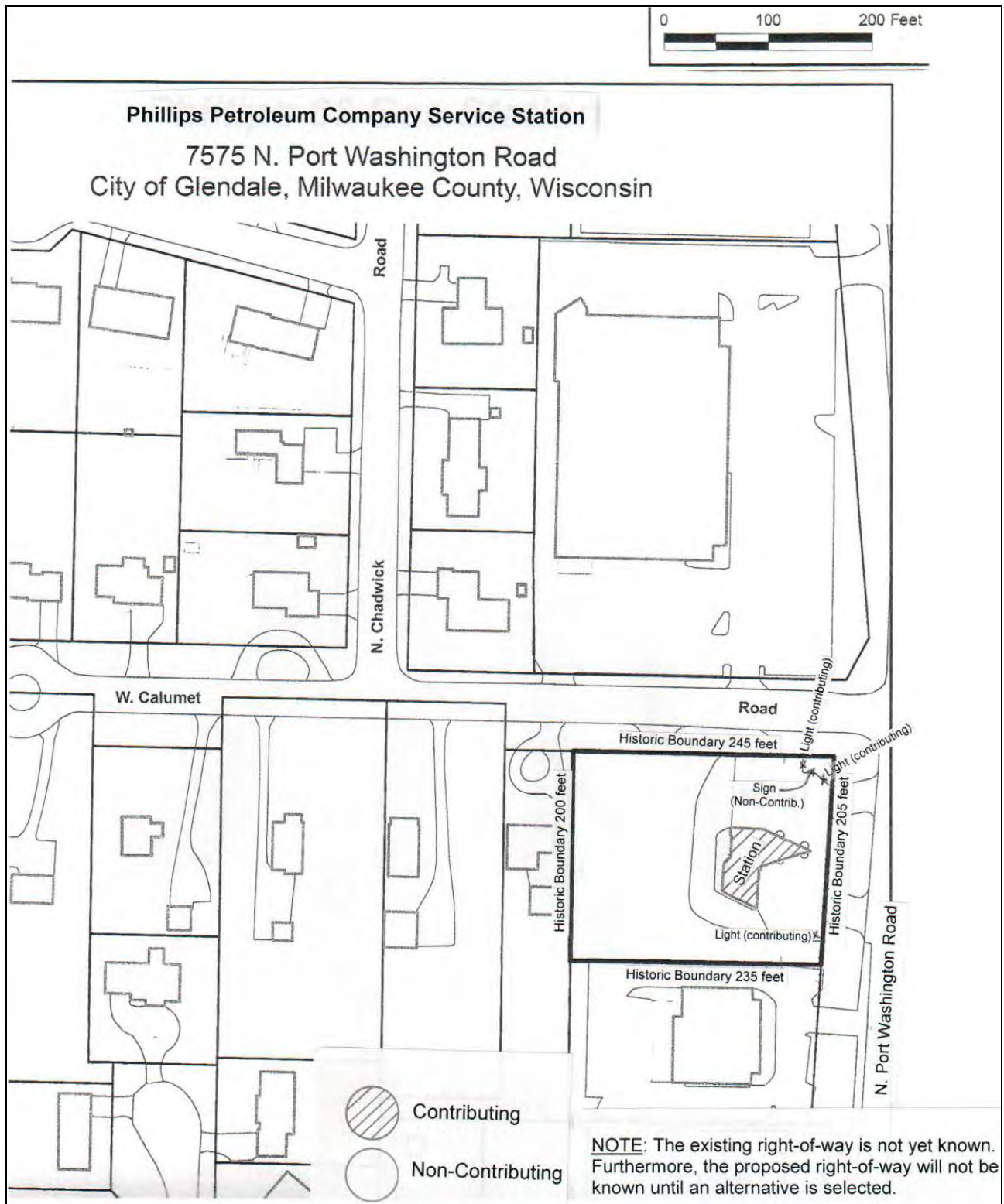


Property File, 7575 N. Port Washington Road, Glendale City Hall, 5909 N. Milwaukee River Parkway, Glendale, WI.

Tiny Naylor's formerly located on Sunset Boulevard in Los Angeles, California (non-extant):



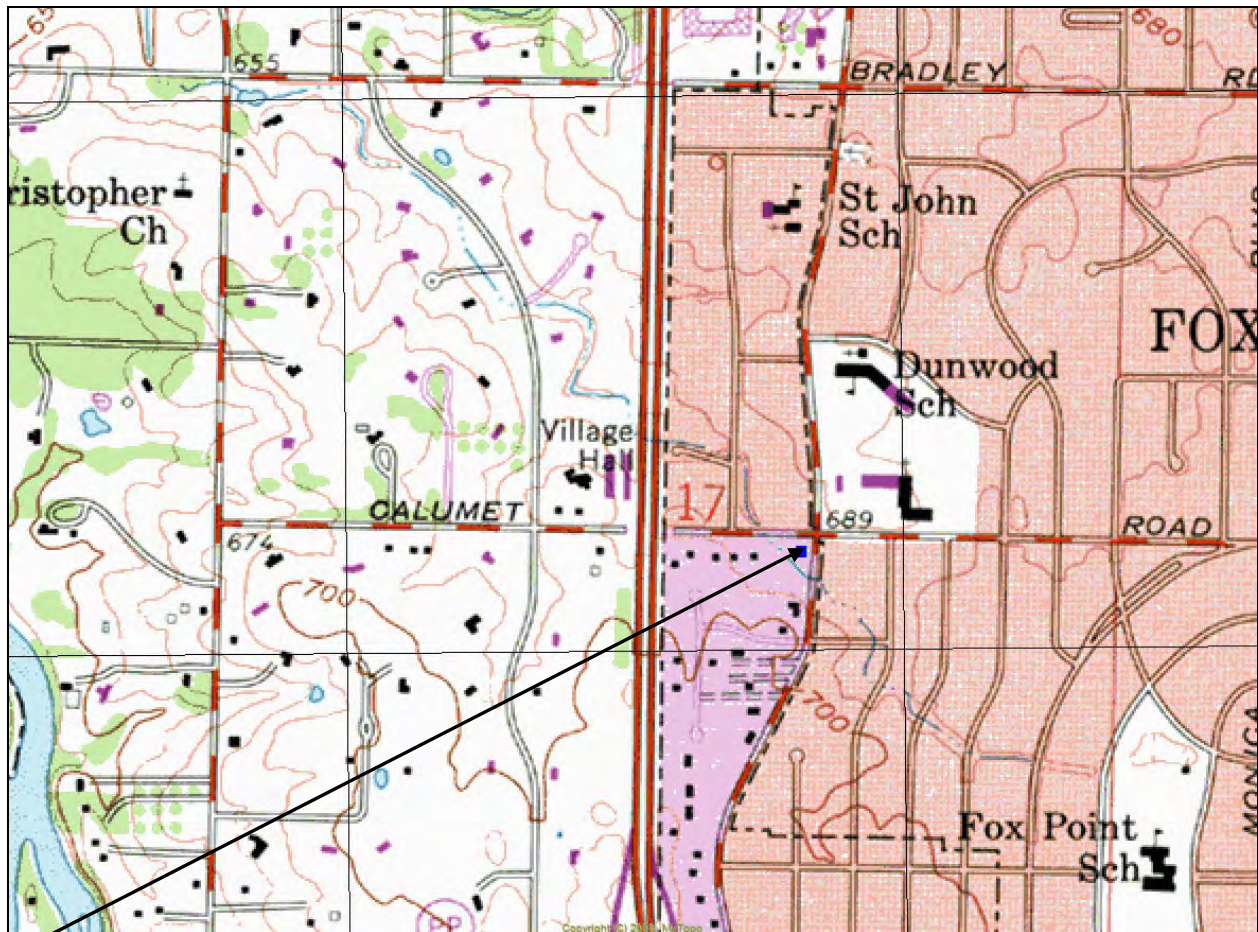




USGS Thiensville

Wisconsin, Milwaukee County

7.5 Minute Series (Topographic)



Phillips Petroleum Company Service Station

7575 N. Port Washington Road, City of Glendale, Milwaukee County, WI

Zone 16 425815 Easting 4778177 Northing

**Wisconsin Historical Society
Determination of Eligibility Form**

(Revised May 2013)

WisDOT Project ID #: 1229-04-01

WHS #: _____

Property Name(s): River Hills Department of Public Works Building

Address/Location: 7650 N. Pheasant Lane

City & County: Village of River Hills, Milwaukee County **Zip Code:** 53217-3012

Town: _____ **Range:** _____ **Section:** _____

Date of Construction: 1962

WisDOT Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this request for Determination of Eligibility:

X Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Rebecca Burkel, WisDOT Historic Preservation Officer

Date

State Historic Preservation Office

In my opinion, the property:

Meets the National Register of Historic Places criteria.

Does not meet the National Register of Historic Places criteria.

Jim Draeger, State Historic Preservation Officer

Date

Comments (FOR AGENCY USE ONLY):

Classification:

Ownership	Type of Property:		# of Contributing	# of Non-Contributing
<input type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	-->	2	
<input checked="" type="checkbox"/> public	<input type="checkbox"/> site	-->		
If public, specify: Village of River Hills	<input type="checkbox"/> structure	-->		1
	<input type="checkbox"/> object	-->		
	<input type="checkbox"/> district	Total:	2	1

Function/Use:Historic Function(s): GOVERNMENT: Public WorksCurrent Function(s): GOVERNMENT: Public Works**Architectural Style(s):** LATE 19TH AND 20TH CENTURY REVIVALS: Colonial Revival**Criteria:**

<input checked="" type="checkbox"/> A (history)	Areas of Significance:	<u>Architecture; Government</u>
<input type="checkbox"/> B (important persons)	Period of Significance:	<u>1962-1963¹ (Criterion A)</u>
		<u>1962 (Criterion C)</u>
<input checked="" type="checkbox"/> C (architecture/eng.)	Significant Dates:	<u>1962</u>
<input type="checkbox"/> D (archaeology)	Significant Person:	<u></u>
	Cultural Affiliation:	<u>N/A</u>
	Architect/Builder:	<u>Spinti & Spinti, Architects</u>

Criteria Considerations:

<input type="checkbox"/> A (owned by religious institution)	<input type="checkbox"/> E (reconstruction)
<input type="checkbox"/> B (moved)	<input type="checkbox"/> F (commemorative)
<input type="checkbox"/> C (birthplace/grave)	<input type="checkbox"/> G (<50 years old)
<input type="checkbox"/> D (cemetery)	

ATTACHMENT CHECKLIST

- ☒ Historic boundary map
- ☒ Labeled, professionally printed color photographs
- ☒ USGS map with UTM coordinates

¹ The beginning date of the period of significance is the year the facility was constructed, while the ending date coincides with the National Register's fifty-year guideline.

Property Info:

Acreage of Property:	Approximately 1.68 acres		
UTM Reference:	16	425474	4778318
	Zone	Easting	Northing

Verbal Boundary Description:

The historic boundary of the property is a rectangle that measures approximately 195 feet by 375 feet. The long-center axis is parallel to Interstate Highway 43 (I-43).

Boundary Justification:

The western boundary follows the nearest edge of pavement of the parking lot, while the southern boundary was drawn from the beginning of the drive that accesses the public works yard. The northern boundary was drawn five feet from the public works yard wall so as to exclude the modern cell tower facility sited to the north. Finally, considering that the existing right-of-way of Interstate Highway 43 (I-43) is not yet known at this location, the eastern boundary was drawn along a point three feet from the rear elevation of the public works storage shed. The boundary was demarcated to include only the public works building and its detached storage shed, as well as a nominal amount of land to encompass an appropriate setting. Furthermore, it was drawn to exclude the village hall sited to the west and the modern cell tower facility sited directly to the north.²

Methodology:

Following the completion of an Architecture/History Survey (WisDOT #1229-04-01) by Mead & Hunt, Inc., the subject property was identified as potentially eligible for its association with the history of public works in River Hills and as an intact example of a classically-inspired public building. Research for this Determination of Eligibility involved reviewing records obtained at the facility itself including architectural renderings and specifications prepared by Spinti & Spinti, Architects. As well, the recently completed history of the village, *River Hills: As It Is and As It Once Was*, was reviewed. The Milwaukee County Historical Society Research Library and Milwaukee Public Library Humanities Room were also consulted. A site visit was conducted and the current River Hills Public Works Superintendent was interviewed. Finally, the subject facility was compared to public works buildings found in other North Shore communities. As a result of this research, the River Hills Department of Public Works is considered eligible for the National Register of Historic Places for its role in maintaining the infrastructure and character of this residential village and as a good and intact example of the public works property type.

² The River Hills Village Hall (AHI #222365) was identified as not eligible in the Architecture/History Survey (WisDOT #1229-04-01).

Narrative Description:

The River Hills Department of Public Works facility is located east of N. Pheasant Lane and north of W. Calumet Road in the Village of River Hills, Milwaukee County. It is found approximately 40 feet west of Interstate Highway 43 (I-43), which is oriented parallel to the subject property. River Hills Village Hall and an asphalt parking lot are located directly to the west. A cell tower facility and wooded area are located to the north, while a single residence sited on a heavily wooded lot is found to the south. The River Hills Department of Public Works consists of the public works building and detached storage shed, both of which are considered eligible for the National Register. A modern cell tower located within the public works yard is a non-contributing element.

River Hills Department of Public Works Building (Contributing, 1962)³:

This one-story, Colonial Revival-style, brick building has a square entrance block in the center of its symmetrical, primary (west) façade (photos #1 & 2 of 11). Featuring a central entrance with fanlight flanked by small light fixtures, this block is topped with a slate-shingle, pyramidal roof that is pierced by a large brick chimney. Its Colonial Revival-style elements include brick quoining and a denticulated wooden cornice. Two, smaller, flat-roofed wings are found on either side of the entrance block. Similarly exhibiting brick quoining, these wings also feature brick dentils and limestone coping. Window openings with splayed brick lintels and limestone sills contain modern fenestration. Extending from the wings are serpentine walls featuring brick dentils (photos #1, 3 & 5 of 11).

Side elevations also feature brick dentils and lack openings (photos #3 & 4 of 11).

The rear (east) elevation consists of a series of modern, overhead, garage doors (photo #4 of 11).

On the interior, the building has modern finishes including dropped ceilings and linoleum flooring. A modern tile floor is found inside the primary façade entrance.

Alterations to the building consist of modern fenestration on the primary façade. As well, in one of the architectural renderings prepared by Spinti & Spinti, a divided-light fanlight is shown above the primary entrance; however, it could not be confirmed whether this fanlight was ever installed (see architectural renderings of the River Hills Department of Public Works included in this report).⁴

River Hills Department of Public Works Storage Shed (Contributing, 1962):

The reinforced-concrete storage shed is detached from the public works building. It features a shed roof supported by exposed steel framing (photo #6 of 11). Similar to the primary façade of the Department of

³ Spinti & Spinti, Architects, *Specifications for a New Service Building for the Village of River Hills*, Located within Department of Public Works building, 7650 N. Pheasant Lane, Village of River Hills, WI (April 1962).

⁴ Kurt Fredrickson, Superintendent, River Hills Public Works Department, Conversation with Michael T. McQuillen, 25 March 2013, Notes on file at Heritage Research, Ltd., Menomonee Falls, WI; Architectural Renderings of the River Hills Department of Public Works facility titled, "Village of River Hills Service Building," Located within Department of Public Works building, 7650 N. Pheasant Lane, Village of River Hills, WI.

Public Works building, the rear (east) elevation of the storage shed consists of a serpentine brick wall (photo #8 of 11).

Located between the Department of Public Works building and storage shed, the public works yard is framed by concrete-block, brick-veneered walls that extend from the rear elevation of the storage shed (photo #7 of 11).

Alterations consist of enclosing the formerly open area at the north end of the storage shed with a brick wall following the installation of a cell phone tower at this location (photo #9 of 11).

Cellular Phone Tower (Non-Contributing, modern):

A modern cell phone tower is located within the public works yard by the north end of the storage shed (photo #9 of 11; also see the aerial photograph included in this report).

CRM Context Chapters:

Architecture

Government⁵

Statement of Significance:

The River Hills Department of Public Works facility was evaluated for the National Register under Criteria A, B and C. Located in the Village of River Hills, this affluent residential community was established featuring an exclusive rural character imposed, in part, by a five-acre lot restriction that is unique to municipalities in the Milwaukee area. The village lacks commercial development and possesses only three public buildings: the subject public works facility, its village hall constructed in 1939, and a K-3 elementary school built circa 1960. In addition to possessing a greater degree of integrity than the other two buildings, the River Hills Department of Public Works serves a distinct role in maintaining the infrastructure and environmental character of River Hills. Based on this information, it is considered eligible under Criterion A. No evidence was found to suggest eligibility under Criterion B. Finally, in terms of Criterion C, the subject facility is notable when compared with other public works buildings in the North Shore area as it possesses a greater degree of architectural interest with its modest Period Colonial Revival-style features and other design elements including its serpentine exterior walls. As a result, it is also considered eligible as a good and intact example of the public works property type.

Historical Background & Resource-Specific History:

The general history of the Village of River Hills is found in H. Russell Zimmermann's *River Hills: As It Is and As It Once Was* (2003). Briefly summarized, the Village of River Hills was incorporated 17 March 1930 from a portion of the Town of Milwaukee. The genesis of the community was the purchase of 108 acres in January 1910 for the relocation of the Milwaukee Country Club from its former location on Lake Drive in Shorewood. Feeling constrained by encroaching development on Lake Drive, club members ensured this would never again be an issue by purchasing large amounts of land surrounding their new location. As a result, the area became an enclave for many of Milwaukee's industrial and business leaders with such notable families as Allis, Trostel, Smith, Bradley, Falk, Uihlein, and Stratton taking up residence. The Milwaukee Country Club was the center of this community serving as a facility for sports, meetings, dining, receptions, and other special events.⁶

Wanting to preserve this exclusive, rural character, residents decided to impose a minimum five-acre lot restriction for future residential development at the time of incorporation (River Hills is the only Milwaukee suburb with 100% single-family homes). As well, commercial development is banned from the village and its "country lane" roadways lack curbs, sidewalks, street lights, or lane lines. The population of the village at incorporation was 439 and it is currently 1,597. Mr. Zimmermann notes that the physical character of

⁵ While public works facilities are not listed as a resource type under the *Cultural Resource Management* 'Government: Local Government' context chapter, other similar facilities – city, village and town halls, fire stations, police stations, jails, and water utilities – are listed. No discussion is offered regarding this type of resource [Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, 1986), Vol. 1, Government, 9-13].

⁶ H. Russell Zimmermann, *River Hills: As It Is and As It Once Was* (River Hills, WI: River Hills Foundation, 2003), 7, 12, 45.

River Hills in the 21st century remains as it was originally and provides the following quote:⁷

This is a peaceful refuge where the chief has often answered the Police Department phone and where the Village Clerk has been known to deliver absentee ballots to the homes of ailing residents. Once a snowplow driver damaged a resident's mailbox and a few days later a DPW worker showed up to fix it. A local attorney remembers when the Village Forester came over to assist him in planning his landscaping.⁸

Built in 1962, the River Hills Department of Public Works Building was constructed to serve this affluent, residential community. It is only one of three public buildings in River Hills along with the village hall and a K-3 elementary school. The public works facility possesses a greater degree of integrity than either of these two buildings; the village hall (AHI #222365) was identified in the Architecture/History Survey (WisDOT #1229-04-01) as featuring multiple additions precluding its eligibility, while Indian Hill School was built based on the "California open concept" campus model featuring isolated "pods" that were later connected by passageways due, in part, to the reality of winter weather. Additionally, by serving to maintain the village's infrastructure (including its "country lane" roadways), the subject public works facility plays an important role in preserving its bucolic character. This is significant given that River Hills was incorporated as a rural residential community. Its early residents did not want commercial development nor did they feel the need to create public places where they would gather. As a result, the River Hills Department of Public Works Building is considered eligible under Criterion A for its role in the local governance history of the Village of River Hills in regards to maintaining its infrastructure and preserving its character.⁹

Architecture:

The River Hills Department of Public Works facility was designed by the architectural firm of Spinti & Spinti, which consisted of George F. Spinti, III and his son, Robert.¹⁰ Born in Milwaukee in 1891, George showed an early interest in art in grade school and was painting portraits and landscapes. In high school, he designed covers for the monthly school publication, won an art contest, and also designed posters. He went on to study under Alexander Mueller at the Wisconsin School of Art, took courses at the Normal School (currently known as the University of Wisconsin-Milwaukee) and eventually attended the Chicago Art Institute under Frederic Fursman. His avid interest in art was later combined with the art of science and, in 1912, he began his architectural career with the well-known firm of Alexander C. Eschweiler.¹¹

⁷ Ibid., 7, 12-13, 47, 56.

⁸ Ibid., 13.

⁹ Ibid., 185; Spinti & Spinti, Architects, *Specifications for a New Service Building for the Village of River Hills*. Interestingly, the only other community in the greater Milwaukee area featuring a similar affluent, rural, residential character as River Hills is the Village of Chenequa, Waukesha County. However, in terms of public works facilities, aerial photographs reveal their public works storage shed to be a modern, utilitarian building lacking distinction, while their department offices are in the larger Chenequa Village Hall complex.

¹⁰ Regarding Mr. George F. Spinti's name, a handwritten note in his American Institute of Architects Membership File states, "in order to correct your files and records kindly mail all notices etc. to Mr. George F. Spinti, III not George F. Spinti, Jr. who is the same person." (George F. Spinti, Membership File, The American Institute of Architects Archives, Website: <http://communities.aia.org/sites/hdoaa/wiki/Wiki%20Pages/Home.aspx>, Accessed 13 March 2013).

¹¹ "George Spinti Dies; Designed Buildings," *Milwaukee Sentinel*, 2 February 1968; George F. Spinti, Obituary, *Milwaukee Journal*, 2 February 1968; Historic Designation Study Report: Gordon Park Bathhouse, Prepared by Carlen Hatala, Historic Preservation Office, Department of City Development, Milwaukee, WI.

By 1922, Spinti had moved on to the offices of Thomas S. VanAllyea and, by 1928, he was officially registered as an architect in the state. By no later than 1936, Spinti had left VanAllyea and went into private practice until 1941; however, sharing office space with architect Walter Veenendaal. After working at the shipyards during the war, Spinti returned to his architectural career and, in 1948, his son Robert joined him, thus resulting in the firm name of Spinti & Spinti. In 1966, George Spinti retired and, just two years later, he passed away. In addition to being a member of the American Institute of Architects, Spinti served on the Milwaukee City Plan Commission and taught architectural design at UW-Milwaukee for seventeen years. Much of George F. Spinti's work was residential; however, in addition to the subject public works facility, he also designed the Gordon Park Bathhouse and Whitefish Bay Library and Fire Station.¹²

The River Hills Department of Public Works facility is an example of Period Revival architecture; specifically, the Period Colonial Revival style. Popular in Wisconsin during the early to mid-twentieth century, Period Revival buildings referenced a wide range of past motifs and styles. Elements of the Colonial Revival style on the public works building are modest – largely consisting of its dentils and brick quoining – and, as a result, the facility would not be eligible as an example of its style. However, as a property type, it is a good example of a Department of Public Works (DPW) facility. The Wisconsin Historic Preservation Database (WHPD) does not feature a “public works” historic use category; however, a search of the “government office/other” and “government–outbuilding” categories identified only one other similar facility in Milwaukee County: the Village of Shorewood Department of Public Works (AHI #79232, 3801 N. Morris Boulevard). Although identified as potentially eligible, it is not comparable to the subject facility since it was constructed earlier (1928) and features 1930s additions that were built using Works Progress Administration (WPA) funding. Looking at other Department of Public Works buildings in the North Shore area revealed modern structures in Whitefish Bay, Fox Point, and Glendale, which would not be surveyable. Comparison facilities that merit survey are found in the Village of Bayside (Comparison Property #1, AHI #224532, 9075 N. Regent Road, built circa 1965, photo #10 of 11) and the Village of Brown Deer (Comparison Property #2, AHI #224533, 8717 N. 43rd Street, built 1966, photo #11 of 11). The River Hills Department of Public Works Building compares favorably to these two examples. While they all retain a high degree of integrity, the River Hills DPW possesses a greater degree of architectural interest with its modest Period Colonial Revival-style features and other design elements including its serpentine exterior walls. Based on this information, it is eligible under Criterion C as a good and distinctive example of the public works property type.¹³

Summary:

As one of the few public buildings in River Hills, the River Hills Department of Public Works Building is considered eligible under Criterion A for its local governmental role in maintaining the infrastructure and character of this residential village. As well, it is also considered eligible under Criterion C as a good and intact example of the public works property type.

¹² Historic Designation Study Report, 5; “His Boyhood Ambition to Be Artist Realized,” Newspaper clipping about Spinti from an unknown source and not dated, On file at the Historic Preservation Office of the Department of City Development, Milwaukee, WI.

¹³ Barbara Wyatt, ed., *Cultural Resource Management in Wisconsin*, 3 vols. (Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986), Vol. 2, Architecture, 2-29.

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Architectural Renderings of the River Hills Department of Public Works facility titled, "Village of River Hills Service Building." Located within Department of Public Works building, 7650 N. Pheasant Lane, Village of River Hills, WI.

Fredrickson, Kurt. Superintendent, River Hills Public Works Department. Conversation with Michael T. McQuillen, 25 March 2013. Notes on file at Heritage Research, Ltd., Menomonee Falls, WI.

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"His Boyhood Ambition to Be Artist Realized." Newspaper clipping about Spinti from an unknown source and not dated. On file at the Historic Preservation Office of the Department of City Development, Milwaukee, WI.

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Spinti & Spinti, Architects. *Specifications for a New Service Building for the Village of River Hills*. Located within Department of Public Works building, 7650 N. Pheasant Lane, Village of River Hills, WI (April 1962).

*Wisconsin Historic Preservation Database. Maintained by the Wisconsin Historical Society, Division of Historic Preservation. Available online to the public at www.wisconsinhistory.org/ahi.

Wyatt, Barbara, ed. *Cultural Resource Management in Wisconsin*. 3 vols. Madison: State Historical Society of Wisconsin, Historic Preservation Division, 1986.

Zimmermann, H. Russell. *River Hills: As It Is and As It Once Was*. River Hills, WI: River Hills Foundation, 2003.

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		Date:	March 2013

PHOTOGRAPHS: All photographs taken by Michael T. McQuillen in March 2013

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (West [primary] elevation DPW building)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to northeast
Photo #1 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (West [primary] elevation DPW building)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to east
Photo #2 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (West [primary] & south elevations DPW building)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to northeast
Photo #3 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (East [rear] & north elevations DPW building)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to southwest
Photo #4 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (West [primary] & north elevations DPW building)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to southeast
Photo #5 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (West [primary] elevation storage shed)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to northeast
Photo #6 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (Wall projecting from storage shed)
7650 N. Pheasant Lane
Village of River Hills, Milwaukee County, WI
View to east
Photo #7 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (East [rear] elevation storage shed; perspective view showing relationship to I-43)

7650 N. Pheasant Lane

Village of River Hills, Milwaukee County, WI

View to northwest

Photo #8 of 11

RIVER HILLS DEPARTMENT OF PUBLIC WORKS (North elevation DPW building with storage shed beyond)

7650 N. Pheasant Lane

Village of River Hills, Milwaukee County, WI

View to east

Photo #9 of 11

COMPARISON PROPERTY #1 (Bayside Public Works)

9075 N. Regent Road

Village of Bayside, Milwaukee County, WI

View to west

Photo #10 of 11

COMPARISON PROPERTY #2 (Brown Deer Public Works)

8717 N. 43rd Street

Village of Brown Deer, Milwaukee County, WI

View to northwest

Photo #11 of 11

Photo #1 of 11



Photo #2 of 11



Photo #3 of 11



Photo #4 of 11



Photo #5 of 11



Photo #6 of 11



Photo #7 of 11



Photo #8 of 11



Photo #9 of 11



Photo #10 of 11



Photo #11 of 11

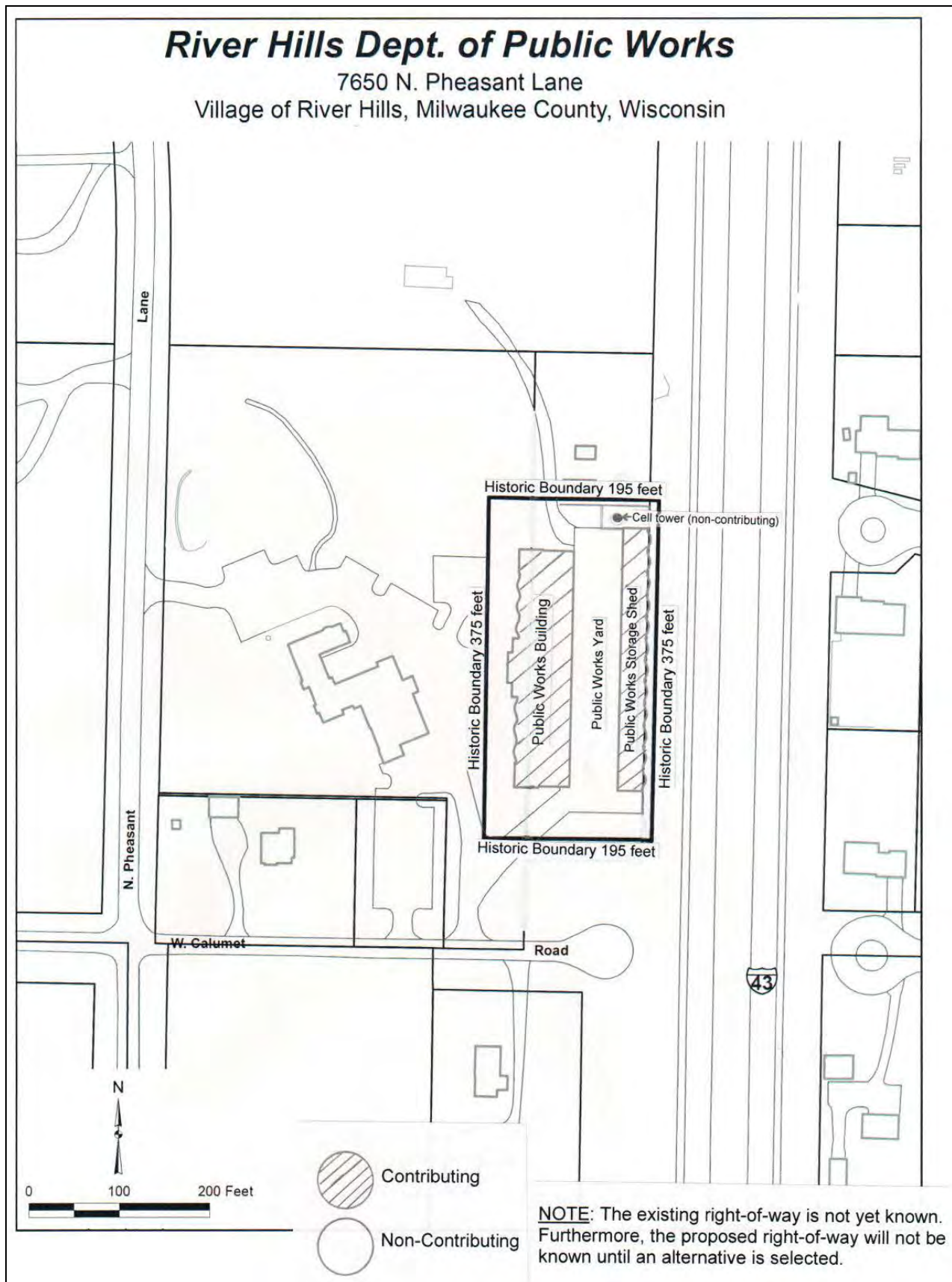


Aerial view of the River Hills Department of Public Works:



Architectural Renderings of the River Hills Department of Public Works:

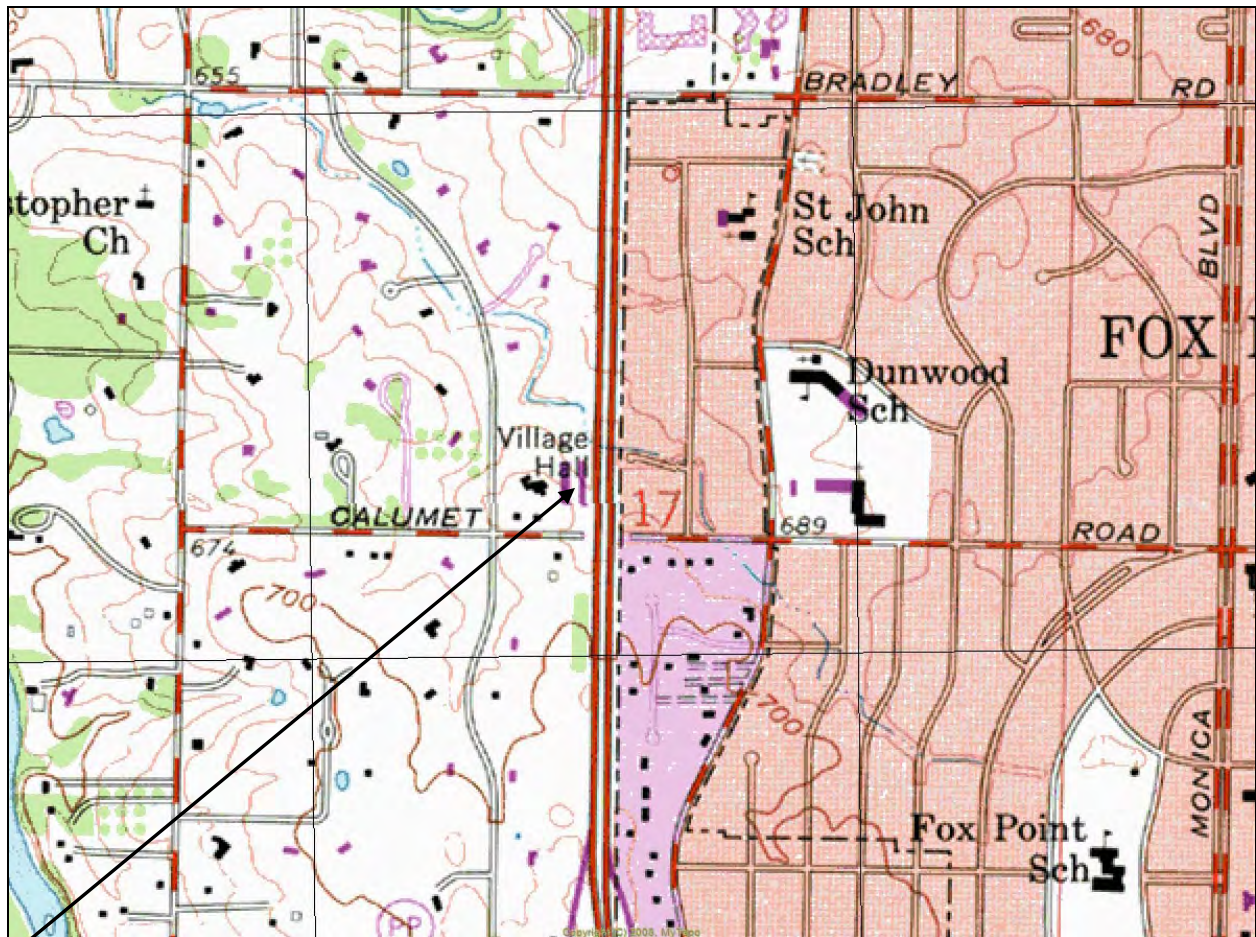




USGS Thiensville

Wisconsin, Milwaukee County

7.5 Minute Series (Topographic)



River Hills Department of Public Works Building

7650 N. Pheasant Lane, Village of River Hills, Milwaukee County, WI

Zone 16 425474 Easting 4778318 Northing



G-3 DETERMINATION OF NO ADVERSE EFFECT



I-43 North South Freeway Corridor
Silver Spring Drive to WIS 60
Milwaukee and Ozaukee Counties, Wisconsin

DOCUMENTATION FOR DETERMINATION OF NO ADVERSE EFFECT

WisDOT I.D. 1229-04-01
Wisconsin Historical Society #12-0649/MI/OZ
October 9, 2013



U.S. Department
of Transportation
**Federal Highway
Administration**

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1 INTRODUCTION

The Wisconsin Department of Transportation (WisDOT) and Federal Highway Administration (FHWA) are conducting the I-43 North-South Freeway Corridor Study to develop solutions for addressing deteriorated pavement, design deficiencies, safety concerns, growing travel demand and other existing and emerging problems in the corridor. The study also strives to minimize impacts to the natural, cultural and built environment to the extent feasible and practicable. This document summarizes the assessment of effects of the I-43 North-South Corridor Study on historic resources in accordance with 36 CFR 800.5.

2 DESCRIPTION OF PROPOSED UNDERTAKING

The proposed action would reconstruct I-43 between Silver Spring Drive in the city of Glendale (south limit), and WIS 60 in the village of Grafton (north limit) – a distance of about 14 miles (see Figure 1). There are seven existing interchanges in the project corridor: Silver Spring Drive, Good Hope Road, Brown Deer Road (WIS 100), County Line Road, Mequon Road (WIS 57/167), County C (Pioneer Road) and WIS 60. The proposed undertaking includes the following key design features:

- Reconstruct the I-43 mainline roadway to provide additional travel capacity
- Reconstruct or replace existing structures over/under I-43
- Reconstruct and modernize the Good Hope Road, Brown Deer Road, County Line Road, Mequon Road and County C interchanges
- Replace the existing partial interchange at County Line Road with a full access interchange
- Potentially construct a new interchange at Highland Road (pending a cost-share agreement with the city of Mequon)
- Reconstruct local streets affected by the freeway reconstruction
- Enhance the aesthetic appearance of the reconstructed freeway

3 STEPS TAKEN TO IDENTIFY HISTORIC PROPERTIES

Historic properties for the proposed undertaking were identified in accordance with 36 CFR 800.4.

3.1 Archaeological investigations

Archaeological investigations, including a literature search and field survey, were conducted in spring of 2013 by qualified archaeologists from AVD Archaeological Services Inc. under contract to WisDOT. The Area of Potential Effect (APE) for archaeological investigations included existing and proposed highway right-of-way and any other areas that could potentially be disturbed by future construction including temporary or permanent easements.

No previously recorded or new archaeological sites were located within the APE. Therefore, no further discussion is required in this report.

3.2 Historic structure investigations

An architecture/history survey was conducted in fall of 2012 by qualified historians from Mead and Hunt Inc. under contract to WisDOT. The APE for historic structures investigations included all properties abutting I-43, properties adjacent to existing interchanges, possible new interchange areas, and properties along side roads where construction could occur. Several properties were identified for possible historic significance and Determinations of Eligibility to the National Register of Historic Places (NRHP) were recommended. See Description of Affected Historic Properties for more information.

The State Historic Preservation Officer (SHPO) concurred in the results of the archaeological survey and other historic property investigations on September 13, 2013.

In addition to the archaeological and historic structure investigations, information on possible historic properties was solicited from Native American Tribes, the public, and other interests as noted under Views of Consulting Parties and the Public.

Figure 1: Project Location Map



4 DESCRIPTION OF AFFECTED HISTORIC PROPERTIES

Based on the Determinations of Eligibility initially prepared for 11 properties in the I-43 corridor, the SHPO concurred that the 5 properties described below are eligible for listing in the NRHP. A sixth property, the Elderwood/The House in the Woods, is already listed in the NRHP.

Applicable National Register criteria for evaluating eligibility to the NRHP are:

Criterion A: Structures associated with events that have made a significant contribution to broad patterns of history.

Criterion B: Structures associated with the lives of persons significant in the past.

Criterion C: Structures that embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

4.1 North Shore Water Treatment Plant

The North Shore Water Treatment Plant is located west of I-43 in the northwest quadrant of the Jean Nicolet Road/ Bender Road intersection (see Figure 2). This facility is co-owned and operated by the city of Glendale and villages of Whitefish Bay and Fox Point. The historic structures survey for the I-43 project recommended this property as eligible for the NRHP under Criterion C (Architecture/Engineering) as a highly intact and notable example of Contemporary architectural style. The SHPO concurred in this recommendation on September 5, 2013.

Figure 2: North Shore Water Treatment Plant



4.2 Clovernook Estates Residential Historic District

The Clovernook Estates residential subdivision is located on the west side of I-43, south of Nicolet High School (see Figure 3). The historic structures survey for the I-43 project recommended properties in the subdivision as eligible for the NRHP as a historic district under Criterion A (History) and Criterion C (Architecture/Engineering). The SHPO concurred in this recommendation on September 5, 2013. The historic district consists of 61 residential structures (54 contributing and seven noncontributing) with construction dates from 1903 to 1945. For Criterion A, the Clovernook Estates subdivision was designed, platted and developed in association with the Kelvinator Appliance Co., which later merged with the Nash Motor Co. to become the Nash-Kelvinator Corp., with Charles Nash serving as chairman. For Criterion C, the Clovernook Estates subdivision has a significant concentration of Period Revival-style homes that retain a high degree of integrity.

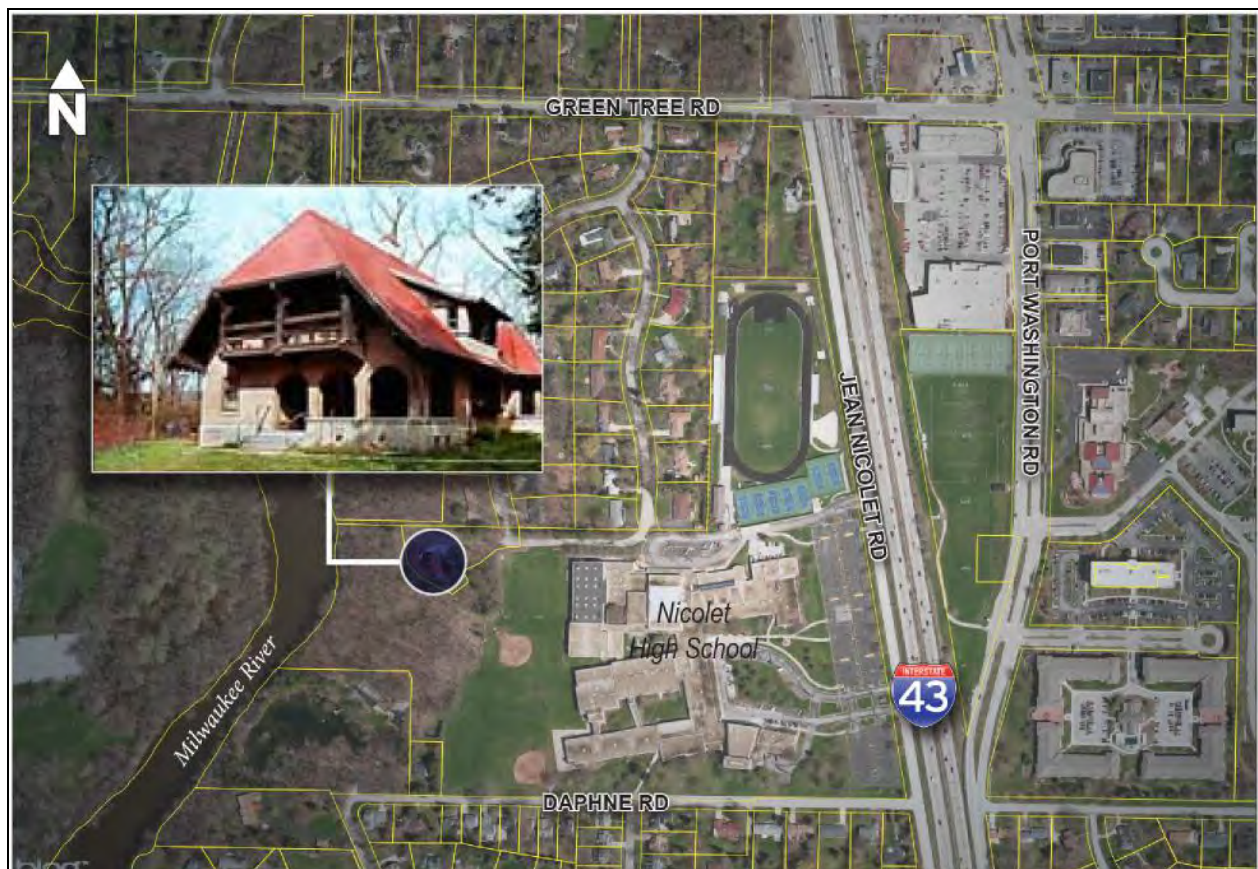
Figure 3: Clovernook Estates Residential Historic District



4.3 Elderwood/The House in the Woods

The Elderwood House, known locally as “The House in the Woods,” is located on North Elm Tree Road, and located just north of the Nicolet High School campus (see Figure 4). This privately owned structure was listed in the NRHP in December 1980. It is a large, two-story, stucco-covered concrete cottage with a red clay tile roof. It is significant under Criterion C (Architecture/Engineering) due to its picturesque German cottage architectural style and other decorative features. The Elderwood House is also listed as a local landmark under Milwaukee County’s Landmark Program, which lists buildings or sites of historic, architectural or cultural significance. The Landmark Program does not provide any special protection on a structure, or any financial or legal advantage, or limit the owner’s rights to modify the property.

Figure 4: Elderwood/The House in the Woods

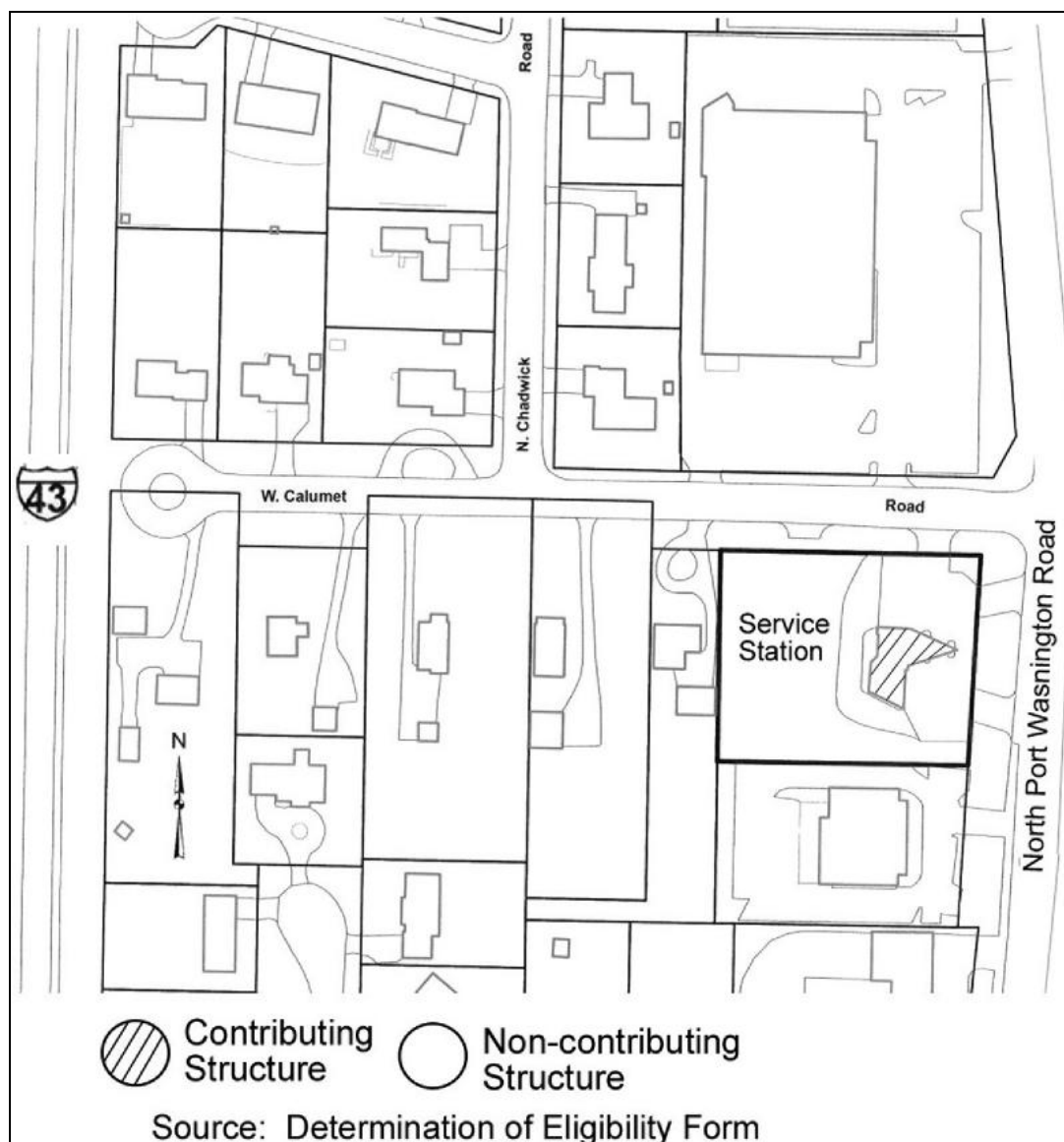


4.4 Phillips Petroleum Company Service Station

This former Phillips Petroleum Company service station is located about 600 feet east of I-43, in the southwest quadrant of the North Port Washington Road/West Calumet Road intersection (see Figure 5). It is a privately owned U.S. Oil gas station that also rents U-Haul vehicles. The historic structures survey for the I-43 project recommended this property as eligible for the NRHP under Criterion C (Architecture/Engineering) as intact example of a mid-20th century gas station using the standardized “soaring canopy” design produced by the Phillips Petroleum Company. The SHPO concurred in this recommendation on August 29, 2013.

This property was subsequently determined to be outside the APE for the proposed I-43 improvements. Therefore, no further Section 106 evaluation is required.

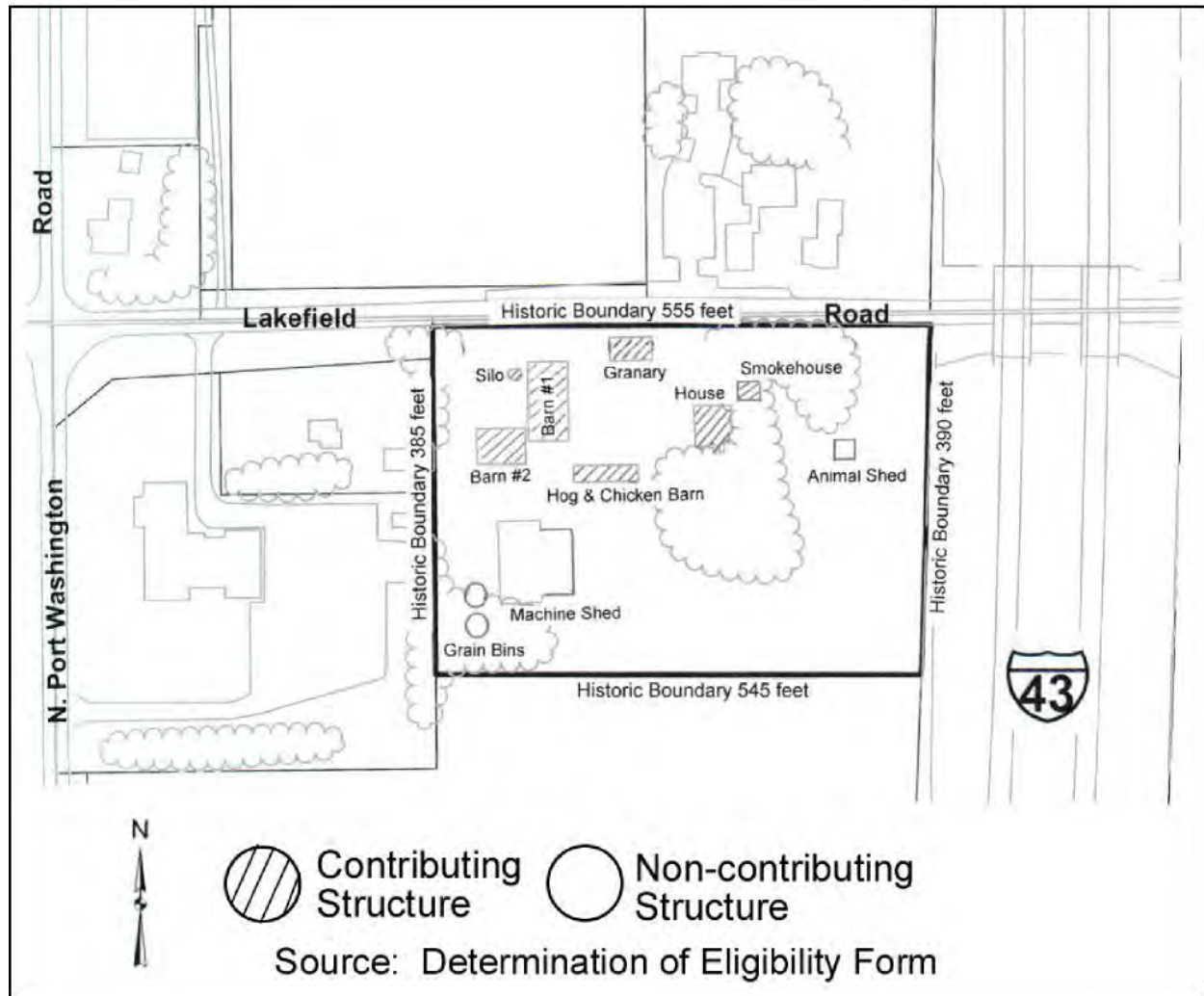
Figure 5: Phillips Petroleum Company Service Station



4.5 Johann Friederich and Catherine Hennings Farmstead

The Hennings Farmstead is located in the southwest quadrant of I-43 and Lakefield Road (see Figure 6). This property is privately owned. The historic structures survey for the I-43 project recommended this property as eligible for the NRHP under Criterion C (Architecture/Engineering) as a good and intact example of the farmstead property type, per the Wisconsin Historical Society's Guidelines for Evaluating the Eligibility of Farmsteads. The farmstead house is also a distinctive example of quarried fieldstone construction. The SHPO concurred in this recommendation on August 29, 2013.

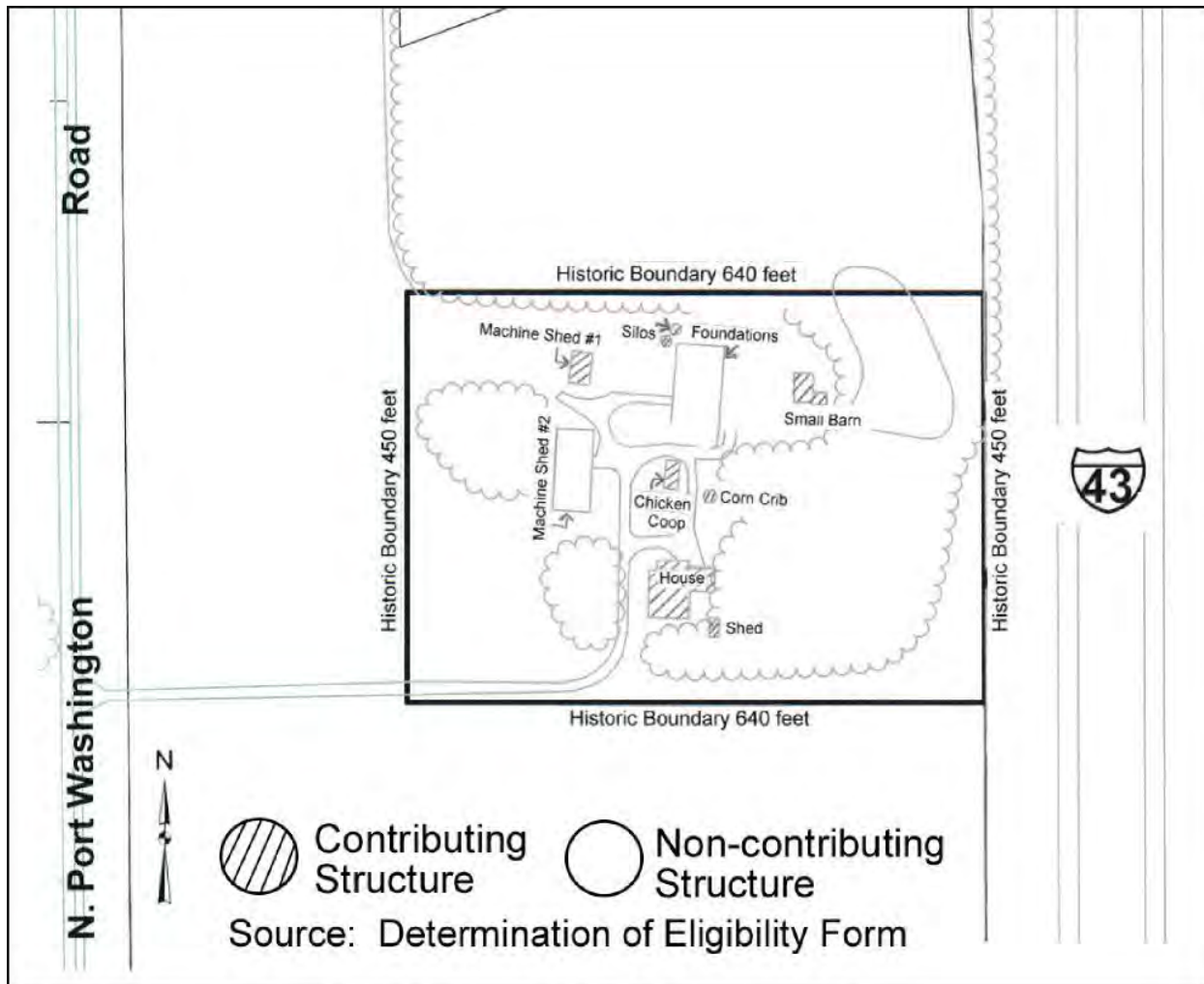
Figure 6: Johann Friederich and Catherine Hennings Farmstead



4.6 Henry and Mary Hennings House

The Hennings House is on a former farmstead located on North Port Washington Road west of I-43, between Lakefield Road and WIS 60 (see Figure 7). This property is privately owned. The historic structures survey for the I-43 project recommended this property as eligible for the NRHP under Criterion C (Architecture/Engineering) as a distinctive example of quarried fieldstone construction. The SHPO concurred in this recommendation on August 29, 2013.

Figure 7: Henry and Mary Hennings House



5 DESCRIPTION OF UNDERTAKING'S EFFECTS ON HISTORIC PROPERTIES

5.1 North Shore Water Treatment Plant

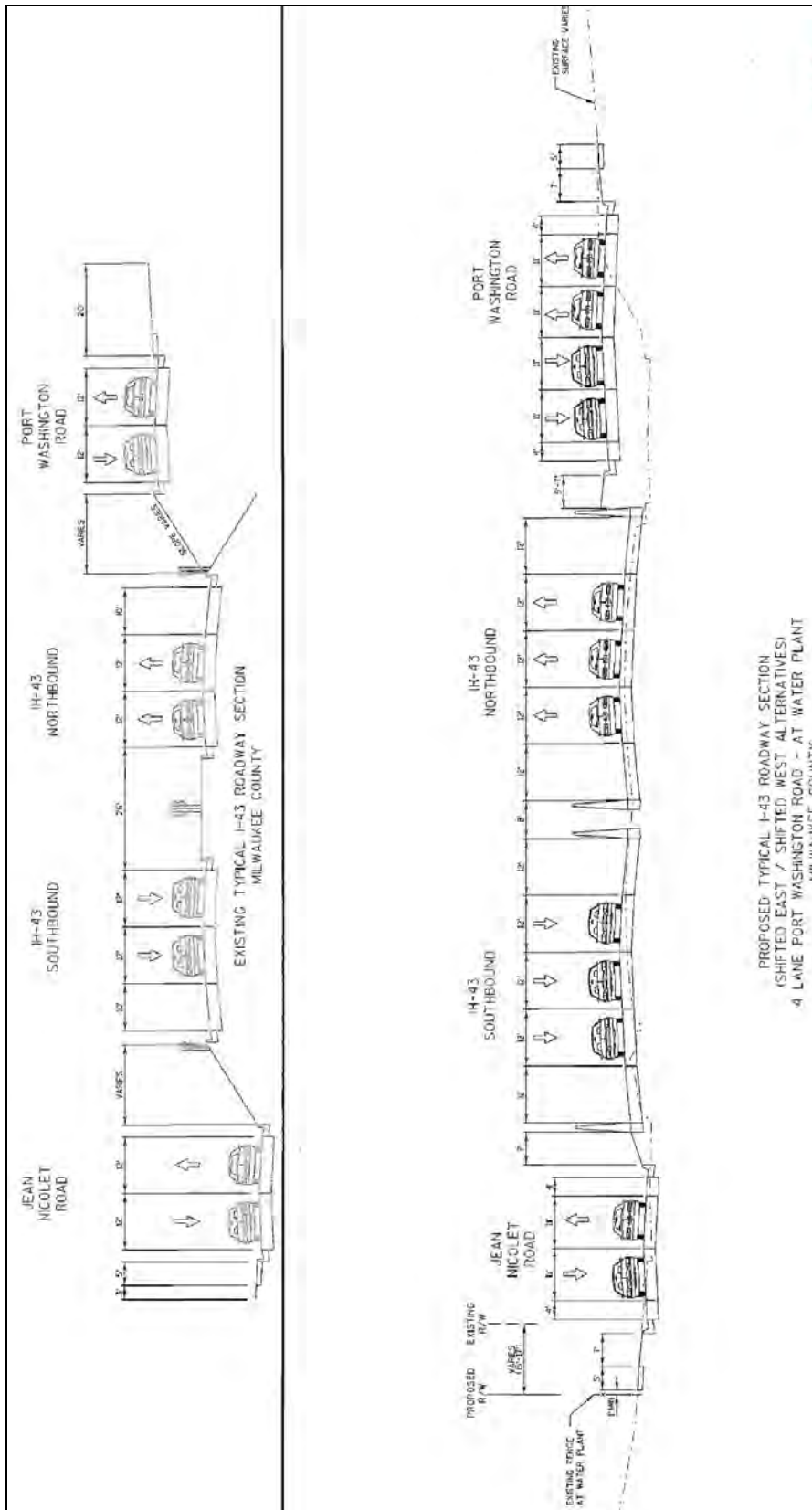
The build alternative in the vicinity of the North Shore Water Treatment Plant would expand I-43 from four lanes to six lanes. Jean Nicolet Road would be reconstructed by adding a 5-foot sidewalk on the west side, and a 4-foot bike lane on both sides of the road. Port Washington Road would be reconstructed as a four-lane facility generally on the existing alignment with a sidewalk on the east side and a bike lane on both sides of the road¹. Sidewalk and bike accommodations are required under Wisconsin Administrative Code Trans 75, *Bikeways and Sidewalks in Highway Projects*.

The build alternative would require about 0.16 acres of strip right of way acquisition along the east edge of the North Shore Water Treatment Plant (see Figure 8 for a plan view and Figure 9 for roadway typical sections). At this time, based on the level of engineering design for the I-43 corridor study, there are no prudent and feasible alternatives that would completely avoid right of way acquisition from the North Shore Water Treatment Plant. The build alternative has been designed to minimize encroachment on the property to the extent possible. If a build alternative is selected at the conclusion of the I-43 Corridor Study, additional efforts will be made in the engineering design phase to further minimize encroachment on this historic property.

¹ Port Washington Road reconstruction is a city-sponsored project that would be undertaken as part of the I-43 reconstruction.

Figure 8: Proposed Improvements at North Shore Water Treatment Plant

Figure 9: Existing and Proposed Typical Sections Adjacent to North Shore Water Treatment Plant



5.2 Clovernook Estates Residential Historic District

The build alternative in the vicinity of the Clovernook Estates Residential Historic District would expand I-43 from four lanes to six lanes by shifting construction to the east, which maintains the existing west right of way line on Jean Nicolet Road. The build alternative would also reconstruct Jean Nicolet Road by adding a 5-foot sidewalk on the west side, and a 4-foot bike lane on each side of the road (see Figure 10 for a plan view and Figure 11 for roadway typical sections).

Because the existing westerly right-of-way line on Jean Nicolet Road would be maintained, there would be no right-of-way acquisition or temporary/permanent easements from the historic district abutting Jean Nicolet Road. Therefore, the proposed build alternative at this location is an avoidance alternative.

Figure 10: Proposed improvements at Clovernook Estates Historic District



5.3 Elderwood/The House in the Woods

The Elderwood House property is located about 1,200 feet west of I-43. WisDOT currently has a 30- foot-wide easement across this property for a storm sewer that conveys stormwater from I-43 to the Milwaukee River (see Figure 12).

None of the build alternatives at this location require right-of-way acquisition from this property. WisDOT may propose to replace the existing storm sewer within the existing easement, thus avoiding any additional incorporation of land from the historic property. Temporary ground disturbance within the WisDOT easement would result during excavation, removal and replacement of the existing storm sewer. There would be no additional right-of-way acquisition or temporary/permanent easements required from the property.

Figure 12: Proposed Improvements at Elderwood/The House in the Woods



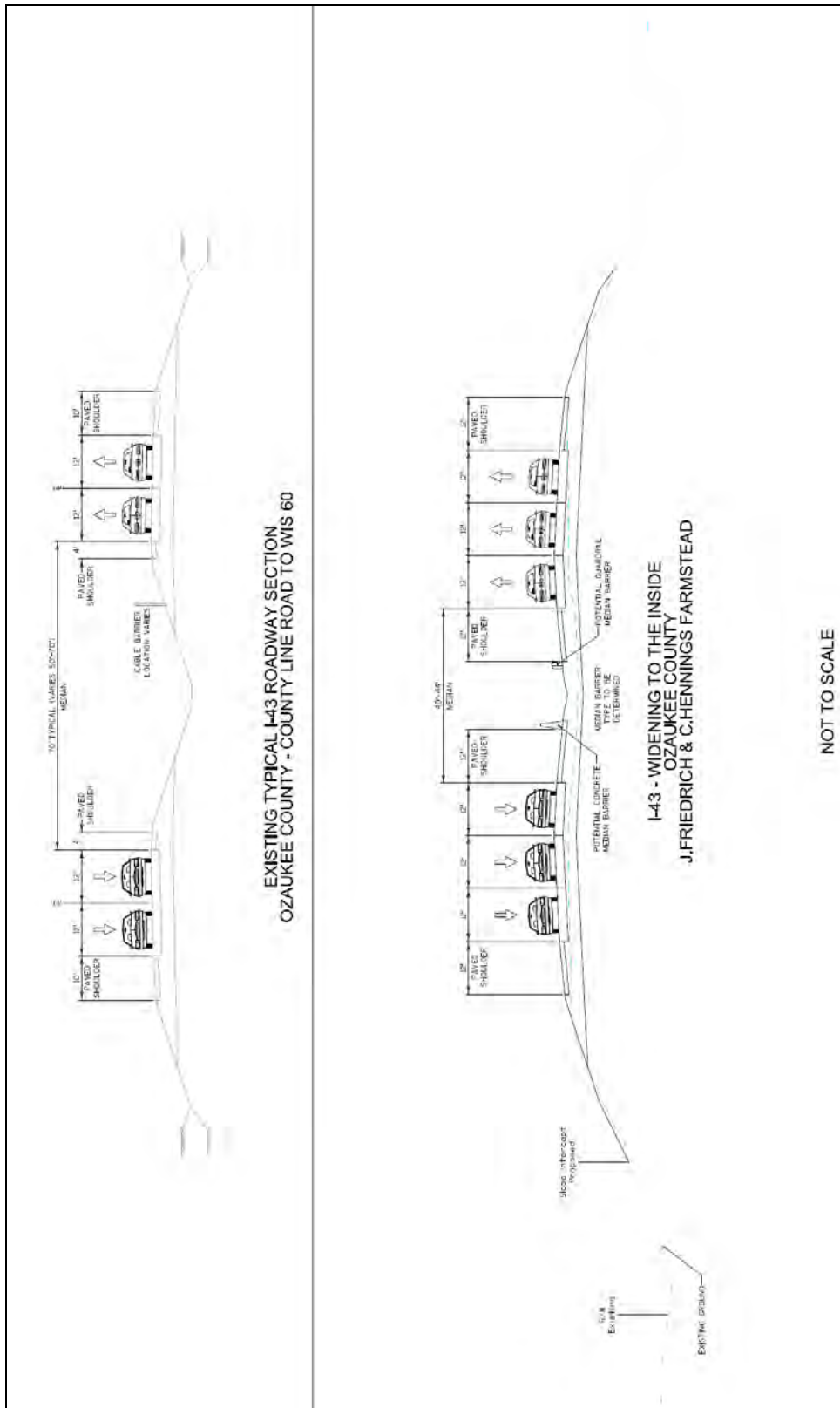
5.4 Johann Friederich and Catherine Hennings Farmstead

The build alternative in the vicinity of the Johann Friederich and Catherine Hennings Farmstead would expand I-43 from four to six lanes with the additional lanes constructed in the existing highway median (see Figure 13 for a plan view and Figure 14 for roadway typical sections). The substandard shoulders would be reconstructed to meet current design standards. Treatment options for the median barrier would include either a concrete barrier or beam guard. Lakefield Road that passes under I-43 would be left in its current configuration. Reconstruction of I-43 would not require any right-of-way acquisition or temporary/permanent easements from the historic farmstead.

Figure 13: Proposed Improvements at Johann Friederich and Catherine Hennings Farmstead



Figure 14: Existing and Proposed Typical Sections Adjacent to Johann Friederich and Catherine Hennings Farmstead



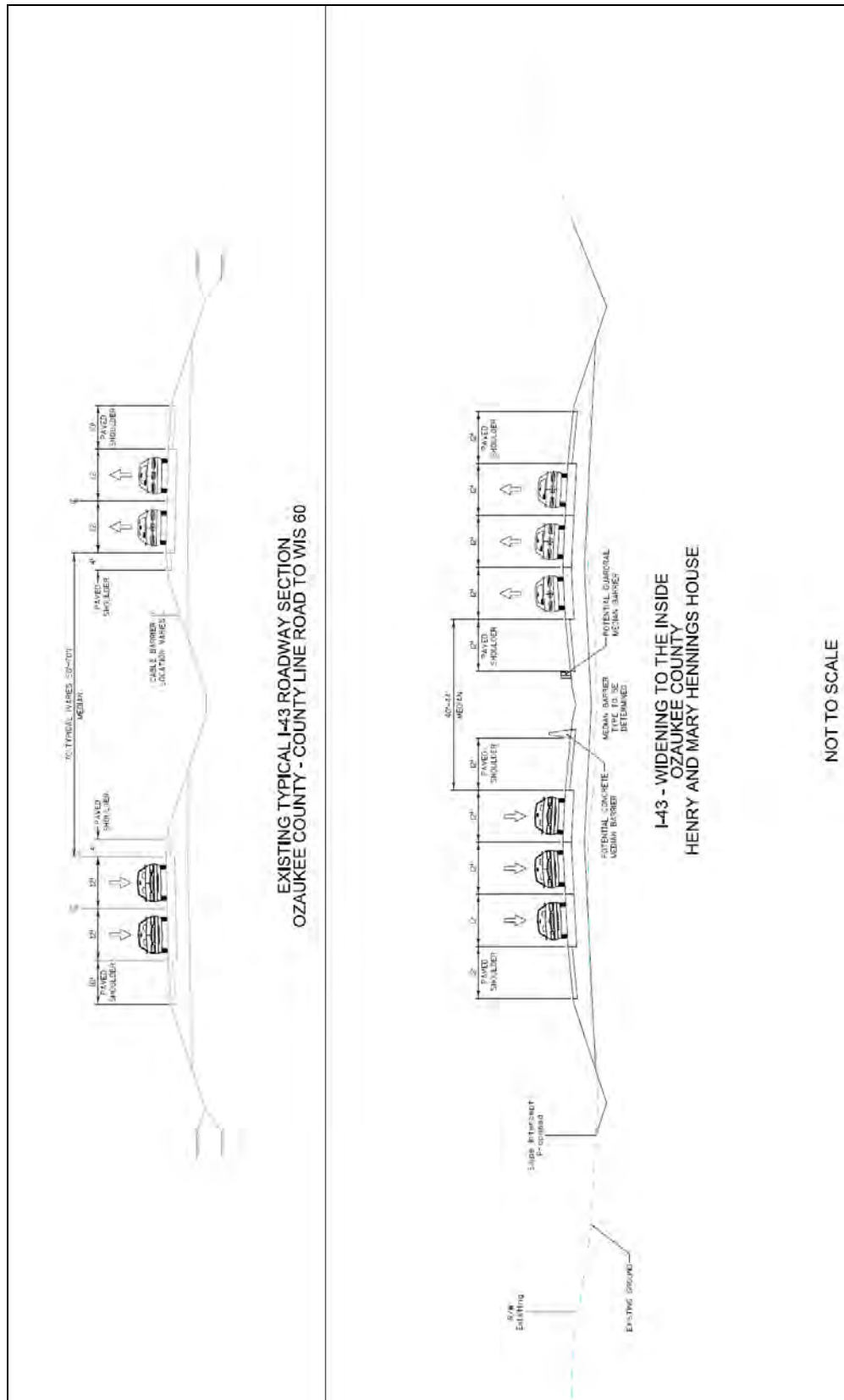
5.5 Henry and Mary Hennings House

The build alternative in the vicinity of the Henry and Mary Hennings House property would expand I-43 from four to six lanes with the additional lanes constructed in the existing highway median (see Figure 15 for a plan view and Figure 16 for roadway typical sections). The substandard shoulders would be reconstructed to meet current design standards. Treatment options for the median barrier would include either a concrete barrier or beam guard. Reconstruction of I-43 would not require any right-of-way acquisition or temporary/permanent easements from the historic property.

Figure 15: Proposed Improvements at Henry and Mary Hennings House



Figure 16: Existing and Proposed Typical Sections Adjacent to Henry and Mary Hennings House



6 ASSESSMENT OF EFFECTS

Potential effects of the proposed undertaking were evaluated in accordance with Advisory Council on Historic Preservation (ACHP) adverse effect criteria. The evaluation includes an explanation of why certain criteria are applicable or not applicable, and any conditions or future actions to avoid, minimize or mitigate possible adverse effects.

1. Physical destruction of or damage to all or part of the property

This criterion is not applicable. There will be no physical destruction or damage to any of the historic properties.

2. Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines

This criterion is not applicable. All of the historic properties will continue to be used as they are today and the distinctive features that qualify them for listing in the NRHP will be preserved. No hazardous material remediation is required on any of the properties.

3. Removal of the property from its historic location

This criterion is not applicable. None of the historic properties will be removed from their [present] historic location.

4. Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance

- North Shore Water Treatment Plant

As illustrated in Figure 8, the proposed improvements on Jean Nicolet Road that borders the east side of the water treatment plant would require approximately 0.16 acre of strip right-of-way acquisition from the east edge of the facility. No structures would be affected and existing access on Jean Nicolet Road would be maintained. The strip right-of-way acquisition would not affect any of the design elements or workmanship features that contribute to the property's historic significance under Criterion C (Architecture/Engineering).

- Clovernook Estates Residential Historic District

As illustrated in Figure 10, proposed improvements to I-43 in the vicinity of the Clovernook Historic District would be shifted to the east such that the existing west right-of-way line on Jean Nicolet Road would be maintained in its current location. No right-of-way would be required from the historic district. Providing a 5-foot sidewalk on the west side of Jean Nicolet Road and 4-foot bike lanes on both sides will enhance pedestrian and bicycle access to and from this residential subdivision.

The reconstruction of Jean Nicolet Road to add a sidewalk and bicycle lanes would not affect any of the design elements or workmanship features of the Period Revival-style homes that contribute to the Historic District's significance under Criterion C (Architecture/Engineering). Further, the proposed improvements would not affect any of the design, layout or platting

features that were developed by the Nash-Kelvinator Corporation and that qualified the Historic District for the NRHP under Criterion A (History).

- Elderwood/The House in the Woods

As illustrated in Figure 12, WisDOT currently has a 30-foot wide storm sewer easement that runs along the north edge of the Elderwood property. As part of the I-43 improvements, WisDOT may replace the existing storm sewer within the existing easement. Temporary ground disturbance would result during excavation, removal and replacement of the existing storm sewer. No additional right-of-way or temporary/permanent easements would be required. Any vegetation removed for excavation of the old storm sewer would be replaced and re-established.

Replacement of the storm sewer within the existing easement area would not affect any of the design elements or workmanship features that contribute to the Elderwood structure's significance under Criterion C (Architecture/Engineering).

- Johann Friederich and Catherine Hennings Farmstead

As illustrated in Figure 13, proposed improvements to I-43 in the vicinity of the Hennings Farmstead would expand I-43 from four to six lanes with the additional lanes constructed in the existing highway median. The I-43 structures over Lakefield Road would be replaced and Lakefield Road that passes under I-43 would remain in its current configuration. No right-of-way acquisition or temporary/permanent easements would be required from the historic farmstead.

The reconstruction of I-43 at this location would not affect any of the design elements or workmanship features of the structures on the farmstead that contribute to its significance under Criterion C (Architecture/Engineering). The existing viewshed between the roadway and historic farmstead would not substantially change.

- Henry and Mary Hennings House

As illustrated in Figure 15, proposed improvements to I-43 in the vicinity of the Henry and Mary Hennings House would expand I-43 from four to six lanes with the additional lanes constructed in the existing highway median. No right-of-way acquisition or temporary/permanent easements would be required from the historic property.

The reconstruction of I-43 at this location would not affect any of the design elements or workmanship features of the structures on the property that contribute to its significance under Criterion C (Architecture/Engineering). The existing viewshed between the roadway and historic farmstead would not substantially change.

5. Introduction of visual, atmospheric or audible elements that diminish the integrity of the property's significant historic features

The visual scale of I-43 would increase due to expanding the freeway from four to six travel lanes. However, all of the historic properties are either separated from I-43 by an existing frontage road or are at a sufficient distance from I-43 such that the wider pavement would not substantially change the existing setting or introduce a visual element that would diminish the integrity of their significant historic features (architecture/engineering). If the I-43 Corridor Study

proceeds to preliminary engineering for a preferred alternative, WisDOT will initiate a Community Sensitive Solution (CSS) process with local officials and other stakeholders to identify measures to enhance the visual quality of the freeway corridor. Aesthetic treatments and beautification measures will be evaluated and developed to complement the cultural context of adjacent communities, including architectural, historic, and natural features.

Based on the air quality analysis for the I-43 Corridor Study, no adverse air quality impacts will occur as a result of the proposed improvements. Carbon Monoxide (CO) emissions will be well below the National Ambient Air Quality Standards. Air quality analysis also indicates no concerns with Mobile Source Air Toxic emissions (MSATS), and it is anticipated that interagency coordination will confirm there are no concerns for particulate matter emissions (PM 2.5).

With the exception of the Clovernook Estates Residential Historic District, the noise analysis for the I-43 Corridor Study indicates there would be no noise impacts at any of the historic properties based on Design Year 2040 traffic volumes. Existing noise levels for the worst case receptor in the Clovernook Estates subdivision is 63 dBA, which is less than the 67 dBA abatement criterion for residential land use. In Design Year 2040, the noise level at this worst case receptor is predicted to be 69 dBA, an increase of 6 dBA over existing conditions. A change in noise levels of 3 dBA is discernible to the human ear. Some receptors would see a decrease in future noise levels. This is due to grade changes that would slightly lower the I-43 mainline. For example, the noise level at a receptor adjacent to Jean Nicolet Road is expected to decrease by as much as 4 dBA, compared to existing noise levels (71dBA).

The noise level increase at some receptors is due to normal increases in traffic volumes rather than a substantive change in roadway geometry, and would occur with or without the proposed improvements. Based on the noise abatement evaluation for the I-43 Corridor Study, a noise wall is not being proposed at this location because it would not meet the feasible and reasonable criteria in FHWA's *Procedures for Abatement of Highway Traffic Noise and Construction Noise* (23 CFR 772).

6. Neglect of a property, which causes its deterioration, except where such neglect and deterioration are recognized qualities of a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization

This criterion is not applicable to the proposed undertaking. The historic properties will remain in their current ownership, upkeep and use.

7. Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforceable restrictions or conditions to ensure long-term preservation of the property's historic significance

This criterion is not applicable to the proposed undertaking. None of the historic properties are federally owned or controlled and there will be no transfer, lease, or sale of historic properties.

7 VIEWS OF CONSULTING PARTIES AND THE PUBLIC

There has been extensive community outreach and agency coordination during the I-43 North-South Corridor study. Key aspects relative to the Section 106 process are summarized as follows.

June 28, and July 2, 2012 – FHWA and WisDOT informed state and federal agencies (including the SHPO), local officials, and Native American Tribes (Tribal Chairs) about the I-43 North-South Corridor study and invited representative from these entities to participate in the environmental review process for the I-43 Corridor Study.

July 13, 2012 – WisDOT contacted Tribal Historic Preservation Officers (THPOs) to inform them about the I-43 North-South Corridor study, request information on cultural resources in the study area, and provide an opportunity to become a consulting party under Section 106 of the National Historic Preservation Act. *The Forest County Potawatomi requested being a consulting party in the project's Section 106 process. No other tribes responded.*

July, 2012 – WisDOT's consultant historian (Mead & Hunt Inc.) contacted local historical societies, preservation commissions and related interests to inform them about the I-43 North-South Corridor study and solicit input on any known historic resources in the study area. No responses were received.

August 7 and 8, 2012 – The first public information meeting was held to inform the public about the I-43 North-South Corridor study and provide an opportunity to comment on existing roadway features and problems, and to solicit input on environmental resources including archaeological and historic resources to assist in the development and evaluation of alternatives.

October 10, 2012 – A briefing on the I-43 project was presented at the quarterly coordination meeting between WisDOT, the SHPO, and Native American Tribes THPOs.

January 30 and 31, 2013 – The second public information meeting presented the preliminary range of alternatives and information on their ability to address key purpose and need factors. The meeting notice specifically invited persons with knowledge of archaeological sites or historic properties to share such information with the study team.

February and March, 2013 – Heritage Research Ltd. (consultant historian for the study) sent letters to owners/administrators of potentially historically significant properties in the I-43 study to let them know about the study, that their properties were being evaluated for historic significance, and to request any historical documentation that could assist the evaluation effort.

April 12, 2013 – WisDOT provided an update on the I-43 North-South Corridor study at the quarterly coordination meeting with SHPO and Native American Tribe THPOs. At that meeting, tribal representatives requested that those tribes with an interest in WisDOT projects in Milwaukee and Ozaukee Counties be re-contacted with updated project information and status of historic property investigations.

April 22, 2013 – WisDOT re-contacted interested tribes requesting comments or information on potential impacts to historic properties and/or culturally sensitive areas. *The Ho-Chunk Nation requested being an interested party and being kept informed about the project. The Sac and*

Fox Nation of Missouri in Kansas and Nebraska indicated that if anything is identified as Native American, then please stop [work] and notify Tribes. No other tribes responded.

May 22, 2013 – Study representatives met with the owners of Elderwood House (already listed in the NRHP) to discuss proposed I-43 improvements that could include replacing the storm sewer located within an easement that crosses the property. The owners indicated they would not object to such improvements provided they would be within the easement area and would not disturb apple trees and lilac bushes at the entrance to their property.

July 2, 2013 – Heritage Research Ltd. sent letters notifying owners of historic properties and the Clovernook Neighborhood Association (letter sent August 23, 2013) about the outcome of the historic property evaluations.

July 23, 2013 – Study representatives met with the manager of the North Shore Water Treatment Plant to discuss the plant's potential eligibility to the NRHP and to discuss the proposed I-43 improvements in this area. The study team provided the North Shore Water Commission information on the anticipated impacts for formal consideration. The study team stated that a formal evaluation would be prepared to determine whether adverse effects would occur, and a copy of that evaluation would be shared with the plant manager for use in further coordination with the North Shore Water Commission. The North Shore Water Commission indicated that the I-43 North-South Corridor study would not affect the water filtration plant operations and maintenance, or the historic significance of the property (see Attachment 1).

August 5, 2013 – Although the Milwaukee County and Ozaukee County historical societies did not indicate an interest in being consulting parties in the Section 106 process for the I-43 North-South Corridor study, WisDOT emailed the findings of the Determinations of Eligibility and also notified them about the third public information meeting.

August 20 and 22, 2013 – The third public information meeting presented the updated alternatives, the results of the noise analysis, drainage studies, and more specific information on historic resources. Public input on potential impacts to historic resources was also solicited. The study historian was also available to answer specific questions about the historic aspects of the study.

Attachment 1

Village of Whitefish Bay
5300 N. Marlborough Drive
Whitefish Bay, Wisconsin 53217

Phone: 414-962-6690

Fax: 414-962-5651

Steve Hoff, PE
WisDOT Project Manager
Wisconsin Department of Transportation
141 N W Barstow Street
Waukesha, WI 53187-0798

September 12, 2013

Subject: **Potential Effects of I-43 Reconstruction on North Shore Water Treatment Plant
400 West Bender Road, Glendale**

WisDOT Project I.D. 1229-04-01
I-43 North South Corridor Study
(Silver Spring Drive to WIS 60)
Milwaukee and Ozaukee Counties

Dear Mr. Hoff:

It is our understanding that Wisconsin Department of Transportation (WisDOT) is considering alternatives for widening I-43. Both remaining options would result in the reconstruction of Jean Nicolet Road which would require about 0.2 acres of right-of-way acquisition from the northeast edge of the water treatment plant. After reviewing WisDOT drawings at the September 11, 2013 Commission Meeting and conferring with the Plant Manager, the North Shore Water Commission representing Glendale, Fox Point, and Whitefish Bay, does not believe the contemplated alternatives would adversely affect the operation and maintenance of our facilities. It is also our opinion that the contemplated right-of-way acquisition will not impair the property's historic significance.

Please contact me if you have any questions.

Best Regards,

A handwritten signature in dark ink, appearing to read "Daniel J. Naze", is written over a light blue horizontal line.

Daniel J. Naze, P.E.
Chairman
North Shore Water Commission



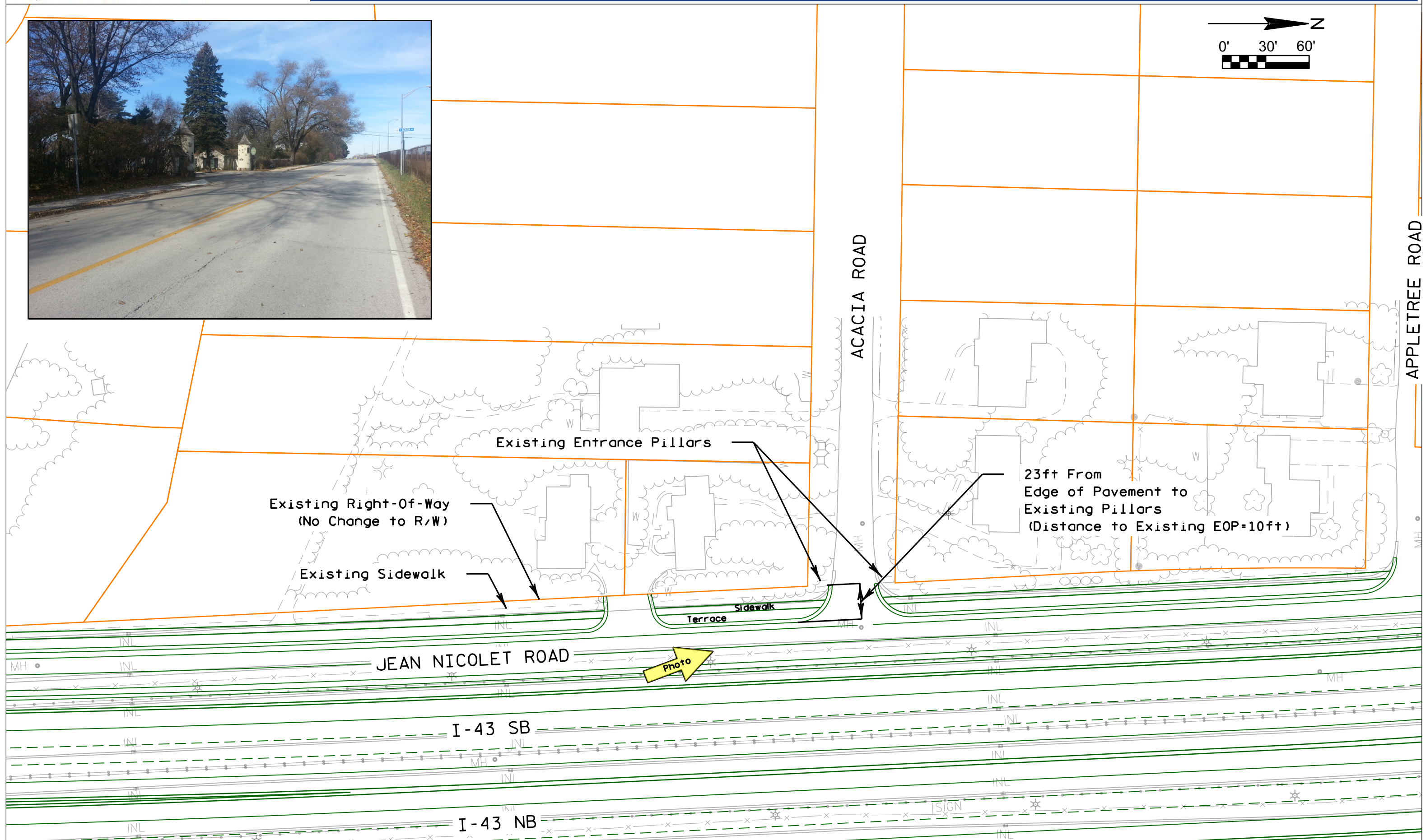
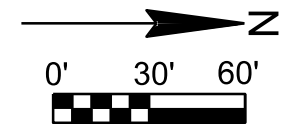
G-4 ADDITIONAL EXHIBITS IN RESPONSE TO STATE HISTORIC PRESERVATION OFFICER COMMENTS



I-43 North-South Freeway Corridor Study

Project ID: 1229-04-01 | Silver Spring Dr to WIS 60 | Milwaukee and Ozaukee Counties

Clovernook Estates Historic District

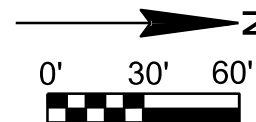




I-43 North-South Freeway Corridor Study

Project ID: 1229-04-01 | Silver Spring Dr to WIS 60 | Milwaukee and Ozaukee Counties

North Shore Water Filtration Plant



North Shore Water Filtration Plant

BENDER ROAD

Existing Right-Of-Way

Existing Sidewalk

Potential Right-Of-Way Acquisition (0.16 Acre)

Proposed Right-Of-Way

Existing Fence

17ft Max

Photo

JEAN NICOLET ROAD

I-43 SB

